

LOCAL MEMBER OBJECTION

COMMITTEE DATE: 11/01/2024

APPLICATION No. 23/01427/FUL

APPLICATION DATE: 22/06/2023

ED: HEATH

APP: TYPE: Full Planning Permission

APPLICANT: MR ZAID SALIH

LOCATION: 35 ST ISAN ROAD, HEATH, CARDIFF CF14 4LU

PROPOSAL: **CONSTRUCTION OF TWO STOREY EXTENSION TO SIDE AND REAR OF EXISTING BUILDING, ROOF ALTERATIONS INCLUDING RAISING OF RIDGE HEIGHT AND DORMERS, EXTENDING EXISTING PHARMACY AND CREATING 2NO. ADDITIONAL FLATS WITH PROVISION OF AMENITY SPACE AND BIKE STORE**

RECOMMENDATION 1: That planning permission be **GRANTED** subject to the following conditions:

1. The development permitted shall be begun before the expiration of five years from the date of this permission.
Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990.
2. The development shall be carried out in accordance with the following approved plans:
 - Drawing No 02 Revision B
 - Drawing No 03 Revision D
 - Drawing No 04 Revision C
 - Drawing No 05 Revision A
 - Drawing No 007 Revision A
 - Drawing No 008

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

- 3 Prior to beneficial use of the development, hereby approved, the cycle parking spaces and any associated access arrangements shown on the approved

plans shall be implemented in accordance with the approved details and thereafter so retained for the sole purpose of cycle parking.

Reason: In the interests of promoting and providing facilities for sustainable modes of transport in accordance with Policies KP5, KP8, T1 and T5 of the Cardiff Local Development Plan 2006-2026.

- 4 Prior to beneficial use of the development, hereby approved, the refuse and recycling storage facilities shown on the approved plans shall be provided and thereafter retained unless otherwise agreed in writing with the Local Planning Authority.

Reason: In the interests of an orderly form of development providing facilities which would have no adverse impact upon the amenities of the area in accordance with Policy KP5 and W2 of the Cardiff Local Development Plan 2006-2026.

- 5 Prior to beneficial use of the development hereby approved, the two first floor windows serving the bedroom and bathroom in flat 3 facing 33 St Isan Road shall be obscurely glazed* and non-opening below a height of 1.7 metres above internal floor level and thereafter so maintained.

Reason: In the interests of the privacy of neighbouring occupiers in accordance with Policy KP5 of the Cardiff Local Development Plan 2006-2026.

* Obscurity of glass is generally rated on a scale of 1 to 5 (where 5 provides the most privacy). The relevant windows should be obscure to a minimum of level 3 on a scale of 1 to 5 (or an equivalent level on any other scale).

- 6 No surface water from any increase in the roof area of the building /or impermeable surfaces within its curtilage shall be allowed to drain directly or indirectly to the public sewerage system.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment in accordance with Policy EN14 of the Cardiff Local Development Plan 2006-2026.

INFORMATIVE 1: The applicant be advised that the developers of all new residential units are required to purchase the bin provision required for each unit. The bins have to meet the Council's specifications. Individual 140L/240L wheeled bins can be purchased directly via waste management at (029) 2071 7500. Bulk supply of 140L wheeled bins, or 660L/1100L wheeled bins should be ordered via our bin order form located at www.cardiff.gov.uk/wasteplanning.

INFORMATIVE 2: Should bats be identified in trees/buildings, a European Protected Species (EPS) licence would be required for this development. This development approval does not provide consent to undertake works that require an EPS licence. It is an offence to deliberately capture, kill or disturb EPS or to damage or destroy their breeding sites or resting places. If found guilty of any offences, you could be sent to

prison for up to 6 months and/or receive an unlimited fine. To undertake the works within the law, you would first need to obtain an EPS licence from Natural Resources Wales (NRW), and no work can be undertaken until this is received. You can obtain further information on the need for a licence and how to apply from NRW on 0300 065 3000 or at <https://naturalresources.wales/permits-andpermissions/species-licensing/when-you-need-to-apply-for-a-protected-species-licence/?lang=en>. You will need the services from an NRW bat licenced ecologist to produce the licence and subsequently supervise the works. The licence holder is usually the developer, who will hold legal responsibility for undertaking the works as agreed in documents with NRW.

It is advised that prior to the works you are satisfied that bats will not be impacted, i.e. works to the loft void, roof or fascias.

INFORMATIVE 3: Should birds be found nesting within/on buildings or within trees of vegetation where works are required that could cause direct harm or disturbance to birds or the nest, all work must cease until the nesting attempt is complete. All birds are protected under Section 1, Paragraph 1 of the Wildlife and Countryside Act 1981 (as amended). This makes it an offence amongst other things to intentionally kill a wild bird, destroy a nest (including when being built) or the eggs of a wild bird. Therefore, if works are required during March to September inclusive, you must be sure that works will not impact upon nesting birds, otherwise a survey/or watching brief should be undertaken by a suitably experienced ecologist prior to the works.

REPORT

1. DESCRIPTION OF PROPOSED DEVELOPMENT

- 1.1 This application seeks planning permission to undertake extensions and alterations including the raising of the ridge to provide for a new second floor within the roofspace and the installation of dormer roof extensions. The proposal will extend an existing pharmacy with a three bedroom flat over to provide for an extended and improved pharmacy on the ground floor and the reconfiguration of the first floor and new second floor to provide two x two bedroom flats and one x one bedroom flat. The application has been submitted in an attempt to overcome a previous scheme that was refused. Since the application was originally submitted amended plans have been submitted which has reduced the impact of the proposal and are discussed in full in Section 5 of this report.

2. **RELEVANT PLANNING HISTORY**

Planning permission granted for “Proposed shopfront alterations and external alterations to staircase to first floor flat” – planning application reference number 01/01739/N refers

Planning permission granted for “Proposed temporary portakabin units providing temporary pharmaceutical facilities during the course of refurbishment works to the existing chemist shop” – planning application reference number 01/01973/N refers.

Planning permission refused for “Construction of two storey extension to side and rear of existing building, extending existing pharmacy and creating 2no. additional flats and provision of two off street parking spaces and cycle store.” – planning application reference number 22/02428/FUL refers.

The application was refused for the following reasons:

1. *The proposal would result in the overdevelopment of the site which would have an over dominant and overbearing impact upon the local area and existing property and therefore represents a poor design contrary to Policy KP5 of the Cardiff Local Development Plan 2006-2026 and advice contained within the residential Extensions and Alterations Supplementary Planning Guidance 2017.*
2. *The proposal would have an overbearing and generally un-neighbourly effect on neighbouring premises/properties and therefore represents a poor design contrary to Policy KP5 of the Cardiff Local Development Plan 2006-2026 and advice contained within the residential Extensions and Alterations Supplementary Planning Guidance 2017.*
3. *Insufficient details have been submitted showing the provision of the required number of cycle storage facilities contrary to Policy KP 5, Policy T1, Policy T5 and Policy H5 of the Cardiff Local Development Plan (2006-2026), and advice contained within the Managing Transportation Impacts (Including Parking Standards) Supplementary Planning Guidance 2018 and the Flat Conversions Supplementary Planning Guidance 2019.*
4. *Insufficient details have been submitted showing the provision of waste storage facilities contrary to Policy KP 5 and Policy W2 of the Cardiff Local Development Plan (2006-2026), and advice contained within the Waste Collection and Storage Facilities Supplementary Planning Guidance 2016 and the Flat Conversions Supplementary Planning Guidance 2019.*

3. **POLICIES OF PARTICULAR RELEVANCE**

National Planning Policy

- *Future Wales: The National Plan 2040 (2021)*
- *Planning Policy Wales (11th Ed) 2021*
- *Technical Advice Note 12: Design*
- *Technical Advice Note 15: Flood Risk*
- *Technical Advice Note 21: Waste*
- *Development Management Manual*

Cardiff Local Development Plan 2006-2026 (2016)

- *Policy KP5 (Good Quality and Sustainable Design)*
- *Policy KP 8 (Sustainable Transport)*
- *Policy KP 13 (Responding to Evidenced Social Needs)*
- *Policy H5 (Sub-Division or Conversion of Residential Properties)*
- *Policy EN13 (Air, Noise, Light Pollution and Land Contamination)*
- *Policy EN14 (Flood Risk)*
- *Policy T1 (Walking and Cycling)*
- *Policy T5 (Managing Transport Impacts)*
- *Policy T6 (Impact on Transport Networks and Services)*
- *Policy W2 (Provision for Waste Management Facilities in Development)*

Supplementary Planning Guidance

- *Flat Conversions (2019)*
- *Managing Transportation Impacts (Incorporating Parking Standards) (2018)*
- *Residential Extensions and Alterations (2017)*
- *Waste Collection and Storage Facilities (2016)*

4. **CONSULTATIONS/REPRESENTATIONS**

- 4.1 Neighbours have been consulted on both the application as originally submitted and on the basis of the amended plans.

Application as originally submitted

Objections were received from the occupiers of 33 and 33A St Isan Road; 21 and 24 St Gildas Road. A summary of their objection is as follows:

The extensions to the property will be out of character with the area;
The roof design and front dormer out of keeping
Loss of natural light to living room and kitchen of the adjoining property as a result of the extension;
Loss of light to rear gardens;

Potential concerns regarding access to the funeral home next door being blocked and associated noise and disruption during the build;
Overlooking and loss of privacy from the windows on St Gildas Road elevation facing the property directly opposite;
Overdevelopment;
Impact on parking as there is already parking problems associated with the property;
Overlooking and loss of privacy from rear dormer window;
Location of the refuse store adjacent to the boundary with the adjoining property and potential smell and rodent issues this may cause.

Application as amended

Following a further consultation process on the amended plans objections were received from 33a St Isan Road and 22 and 24 St Gildas Road. A summary of the objections are as follows:

- Parking issues have not been addressed and there will still be issues with respect to parking;
 - The increase in height will still cause a loss of light;
 - Two new windows have been included into the side elevation which will result in a loss of privacy
 - The extension, in particular the roof design will still be out of keeping with the area;
 - The overlooking of the rear dormer has not been addressed;
 - Loss of light to kitchen and garden;
 - Three flats is still an overdevelopment of the site;
 - Concerns the waste storage area is not large enough.
- 4.2 The occupier of 33 St Isan Road has also advised that if planning permission is granted then the boundary wall between 33 and 35 St Isan Road should be raised if permission is granted to protect privacy of the adjoining occupier.
- 4.3 An objection has also been received from the 3 Local Ward Councillors who advised the following on the application as originally submitted:

As all 3 Local Members for Heath Ward, we write to object to the above planning application.

The above planning application seeks to construct a two storey extension to the rear and side of the existing building on the junction of St Isan and St Gildas Roads, extending the current pharmacy, creating 2 additional flats (total of x3) and resulting in a combined total of x7 bedrooms on this very small site.

The application is contrary to a number of core principles of the Local Development Plan (H5 and C5), as well as not following and respecting a number of Supplementary Planning Guidance documents.

Although H5 states the sub division of existing commercial buildings and dwellings to form flats or HMO's is acceptable but this is only when no material harm to the amenity of existing neighbours through overlooking or general disturbance would materialise as a consequence. Any development should also not impact on the character and amenity of the locality. This proposal does both and there contrary to the Cardiff LDP as adopted in 2016.

In practical terms, this proposal is much larger and proposes a total of 7 bedrooms. This would result in a significant increase in occupation of the site and much greater than the previous proposal for this site which was refused recently. The compacting of this site is significant for such a relatively small plot. The overbearing and overlooking elements of both the dormer front and rear first floor plans remain and would be at a detriment to neighbouring family homes. The loss of privacy would be significant to properties in St Gildas Road opposite and to the rear.

The scale and height of the proposal is also a concern and will have a detrimental effect on sunlight into existing gardens, causing shadowing in the afternoon and evening.

The design and shape of the proposal is completely out of keeping with the character and style of traditional dwellings in this area of the Heath. No properties have front facing dormers in this area. This proposal does not align with a number of SPGs where "creation of a good site to live", or "maintain appropriate scale and massing which respects buildings in the vicinity of the site".

The number of car spaces and cycle racks would be inadequate for the potential number of people living in the x3 flats and x7 bedrooms. The additional pharmacy rooms created would also increase the number of people on this site during the day, early evening and weekends. This would significantly exasperate an existing and already congested on street parking problem. From recent Highways surveys of the area, St Isan Rd, St Gildas Road and neighbouring streets experience commuter parking on a regular basis during Mon-Saturday. The adjacent shops, funeral home, doctors surgery and other commercial outlets already present difficulties for residents to park near their homes. This is particularly difficult for the elderly and their carers, as well as families unloading shopping or young children etc.

Understanding that the relevant SPG does not require any car parking spaces to be included in the application and that Policy T1 and T5 of the LDP should reduce a reliance on private car use, there has also to be an alternative

means of transport available to those residents, including those most vulnerable. There is no regular bus service within easy walking distance and no service at all during the early morning/late evenings at long periods over the weekend. In practice many of these bedrooms will be occupied by adults, many of whom will rely on a private car and thus add to the existing problems of on street parking and road safety.

I hope officers will consider these objections, along with those from local residents and refuse this planning application.

Following receipt of the amended plans the Local Ward Councillors were consulted and advised the following:

Local Members would like our initial objections re submitted as many of the design and impact issues we raised are still relevant to this amended application.

- .4.4 Waste Management have been consulted and have not commented on this application. However they previously advised that each flat will require the following:

1 x 140 litre bin for general waste
1 x 25 litre kerbside caddy for food waste
Bags for mixed recycling (equivalent to 140 litres)

Of which the storage area must be sensitively integrated into the design.

The kitchen should be designed to allow the separation of waste into three waste streams; general, recycling and food waste, in order to encourage the correct disposal of waste.

Refuse storage, once implemented, must be retained for future use.

Please be advised that the developers of all new residential units are required to purchase the bin provision required for each unit. The bins must meet the Council's specifications. Individual 140 litre/240 litre wheeled bins can be purchased via waste Connect to Cardiff at (029) 2087 2087. Bulk supply of individual bins, or 660litre/1100 litre wheeled bins should be ordered via our bin order form located at www.cardiff.gov.uk/wasteplanning.

Please refer the agent/architect to the Waste Collection and Storage Facilities Supplementary Planning Guidance (2016) for further relevant information. www.cardiff.gov.uk/wasteplanning

The residents are responsible for presenting their waste kerb side on the day of collection.

- 4.5 Traffic and Transportation have been consulted and have advised that an additional 3 long stay and 3 short stay cycle parking spaces are required for the pharmacy and one space per bedroom will be required for the flats.

Since the application was originally submitted amended plans have been submitted showing the provision of a 6 space cycle store for occupiers of the flats, a 4 space cycle store for staff of the pharmacy and 3 Sheffield stands providing 6 cycle spaces to the forecourt of the property for customers to use which is considered acceptable.

- 4.6 Building Control have been consulted and have advised a full plans application will be required for the works. In terms of the layouts both for the commercial and residential units they advise the proposed layouts would appear to acceptable subject to the full plan check.
- 4.7 Dwr Cymru Welsh Water have been consulted and do not object to the proposal. They have also requested a condition be imposed with respect to no surface water resulting from any increase in the roof area of the building or impermeable surfaces within its curtilage being allowed to drain directly or indirectly into the public sewerage system to prevent the hydraulic overloading of the public sewerage system.

5. **ANALYSIS**

- 5.1 This application seeks planning permission for the erection of a two storey extension to the side and rear of the property, the raising of the ridge of the main property and the installation of two small gable roof extensions to the front elevation and one small gable roof extension to the rear elevation. The alterations proposed will provide for an extended pharmacy on the ground floor and provide 2 additional flats on the first floor and new second floor making 3 flats in total. A three bedroom flat already exists above the existing pharmacy.

The application is a resubmission of a previously refused scheme. Since the application was submitted amended plans have also been submitted reducing the size of the ground floor and first floor rear extension to overcome concerns raised during the processing of the application. The submitted drawings/details provide information regarding the principal matters for consideration as set out in the relevant Supplementary Planning Guidance.

5.2 **Policy Considerations**

In respect of the proposed 2 additional flats the creation of self-contained flats in this location is supported by Policy H5 of the Local Development Plan.

Further guidance can also be found in the adopted Flat Conversion Supplementary Planning Guidance.

Policy H5 of the LDP is considered to be a prescriptive policy whereby as long as the relevant criteria is met there is unlikely to be any objection to such proposals. It advises that:

“Proposals for any conversion to flats or Houses in Multiple Occupation will be permitted where:

- i. The property is of a size whereby the layout, room sizes, range of facilities and external amenity space of the resulting property would ensure an adequate standard of residential amenity for future occupiers.*
- ii. There would be no material harm to the amenity of existing, nearby residents by virtue of general disturbance, noise or overlooking.*
- iii. The cumulative impact of such conversions will not adversely affect the amenity and/or the character of the area.*
- iv. Does not have an adverse effect on local parking provision.”*

The approved Supplementary Planning Guidance on Flat Conversions further expands on this policy and aims to provide background information on for how the Council will assess planning applications for the conversion of buildings into flats. It recognises that conversions of older properties into flats offer unique challenges that warrant their own policies whereas new build flats tend to benefit from less ‘constraints’, most notably in terms of space restrictions that the existing building encompasses. It also advises that in light of the LDP Policy H5 it is deemed appropriate to provide a definition of adequate standard of residential amenity” for developers to adhere to. For a studio flat a minimum standard of 30 square metres is expected, for a one bedroom flat a minimum standard of 35 square metres is expected and for a two bedroom flat a minimum space standard of 45 square metres is expected. Each additional bedroom will then require an additional 10 square metres.

Cardiff has a housing shortage, and this includes the provision of family accommodation. There is a need for all sizes of family accommodation, both in the affordable and market housing sectors. In this instance whilst a three bedroom flat will be lost the proposal will provide for two x two bedroom flats and one x one bedroom flat which will help towards the provision of much needed residential accommodation.

The submitted plans indicate that the outlook from the flats will be acceptable and that they will exceed the required internal floorspace for flats. The proposed size of Flat 1 is 65 square metres for a two bedroom flat; Flat 2 is 65 square metres for a two bedroom flat and Flat 3 is 36 square metres for a one bedroom flat. As mentioned earlier in this report a two bedroom flat requires 45 square metres and a one bedroom flat requires 35 square metres. As the flats meets the minimum space standards required the proposal is considered

to comply with Policy H5 of the Cardiff Local Development Plan 2006-2026 and advice contained within the Flat Conversions SPG.

- 5.3 **Two Storey Side and Rear Extension** - The property is to be extended to the side and to the rear by the introduction of two extensions. In respect of extending the property to the side towards St Gildas Road this is considered acceptable in respect of its design and siting and does not raise any concerns for the LPA. The surgery opposite the application site has been extended to the side of the property towards St Gildas Road and therefore this part of the proposal would not be out of keeping with the character of the area.

The left hand side of the property is also to be extended to the front to square off the property. Whilst this would result in the loss of the front hipped roof projection and its replacement with a flush roof profile it is not considered that the small front extension would result in any adverse impact to the adjoining neighbouring property and the loss of the hipped roof feature does not raise any concerns. The extension will also not extend beyond the existing front elevation and the resultant property will be in line with the adjoining neighbouring property.

In respect of the extension to the rear of the property this application differs from that previously refused and that as originally submitted. The second floor of the annex has been omitted and the size of the extension has been significantly reduced so that it is now only two storey, is now set in from the side elevation of the property facing 33 St Isan Road by 2.5m as opposed to being flush with the side elevation, set in from the side elevation facing St Gildas Road by 1.5m as opposed to being flush and the two storey element now only projects 3m from the rear elevation of the property as opposed to 14m for the refused scheme. This has significantly reduced the impact of the extension from that previously refused and as originally submitted.

In respect of the ground floor the footprint of the extension is now 3m shorter which provides for an increased amenity space and lessens the impact upon neighbouring occupiers – it will now be around 4m away from the boundary with 24 St Gildas Road and single storey in height. The roof has also changed from a gabled roof design to a hipped roof design to further lessen the impact.

It is noted that there will be windows inserted into the side elevations of the first floor extension facing 33 St Isan Road, 24 St Gildas Road to the rear and the other side of the road at 21 St Gildas Road. The Residential Extensions and Alterations SPG advises that “in the case of extensions above single storey, a distance of 10.5m between the rear wall of the property and its rear boundary...is normally required to avoid overlooking and to protect neighbouring amenity. In respect of the windows facing 33 St Isan Road these would be less than the required 10.5m and so condition 5 has been imposed

to ensure the two windows serving the bedroom and bathroom are obscurely glazed and non-opening below 1.7m above internal floor level in order to ensure the privacy of the neighbour is retained. With respect to the window in the rear elevation this is approximately 13m away from the rear boundary and is therefore considered acceptable. In respect of the window facing St Gildas Road there would be over 21m from window to window and so does not raise any concerns in this respect.

- 5.4 **Roof Alterations** – In respect of the alterations to the roof to increase its height and introduce a half hipped roof configuration, it is considered that as the property is situated on the corner of St Isan Road and St Gildas Road it would not be too dissimilar to the St Isan Road Surgery directly opposite which is also taller than its adjacent properties. Originally it was proposed to increase the rear extension to the same height as the increased ridge height and introduce two dormer roof extensions to the St Gildas Road elevation. However, this has since been omitted to ensure the extension's height and scale at the rear is reduced to respect the relationship of the built form context along St Gildas Road. In respect of the two hipped roof dormers to the front elevation whilst the objections are noted there is a similar dormer directly opposite the application site at St Isan Road Surgery. As such it is considered the roof alterations are considered acceptable from a design perspective and would not harm the character and appearance of the area.

In respect of the concern over the rear dormer roof extension and the potential for a loss of privacy to the occupiers of 24 St Gildas Road the dormer is over 20m from the rear boundary. As previously mentioned in section 5.3 of this report the Residential Extensions and Alterations SPG advises that "in the case of extensions above single storey, a distance of 10.5m between the rear wall of the property and its rear boundary...is normally required to avoid overlooking and to protect neighbouring amenity. As this is almost twice that requirement that it is considered the dormer does not raise any issues with respect to a loss of privacy for the adjoining neighbour.

- 5.5 **Amenity Space** - In respect of amenity space approximately 50 square metres will be available for occupiers of the flats to use to the rear of the property. A small area of approximately 12 square metres will also be available for occupiers of the commercial unit on the ground floor to use too. The Flat Conversion SPG does not identify a minimum amount of external amenity space required for flat conversions and identifies that whilst it would be desirable for as many flats within the converted building to have access to external amenity space it is not always viable or desirable and it is recognised that not all flats will have such access space. Ultimately this is a matter for individual residents in choosing where to live. In this respect the provision of amenity space provided is considered acceptable.

5.6 **Transportation** - Policy KP8 of the LDP seeks to reduce travel demand and dependence on the car. It identifies that to accommodate the planned growth levels predicted for the city, existing and future residents will need to be far less reliant on the private car and seeks to ensure that more everyday journeys are undertaken by sustainable modes of transport. Policy T1 and Policy T5 of the LDP also identifies that all new development for which planning permission is required will contribute to reducing reliance on the private car, in line with national planning policies and the strategic transport objectives of the LDP.

The Council's approved Supplementary Planning Guidance on Managing Transportation Impacts (Incorporating Parking Standards) supplements the LDP in this respect and sets out the Council's approach to assessing and managing the transport impacts of developments within the City. Section 6 of the SPG refers to parking standards and is therefore an important tool to be used in managing demand for travel by car and encouraging a shift to sustainable transport modes.

In respect of car parking the Managing Transportation Impacts (Incorporating Parking Standards) SPG advises that there is no minimum amount of car parking spaces required and a maximum of 4 car parking spaces for the pharmacy and 3 car parking spaces for the flats – one space per flat. In this instance no car parking spaces are to be provided. However as there is no minimum car parking requirement then the proposal is still compliant with the SPG with no car parking spaces being provided.

With respect to cycle parking the SPG identifies that a minimum of four cycle parking spaces will be required for staff of the pharmacy and two short stay cycle spaces will be required for customers of the pharmacy. With respect to the flats the SPG advises that one cycle parking space per bedroom is required. As the proposal seeks one x one bedroom flat and two x two bedroom flats then five cycle parking spaces will be required. In total eleven spaces will be required. The applicant has submitted details which shows the provision of four cycle parking spaces within an under cover store for staff of the pharmacy, six under cover cycle spaces for occupiers of the flats and three Sheffield stands to the forecourt of the property which could accommodate six short stay cycle spaces for customers of the pharmacy giving sixteen spaces in total. This accords with the principles of sustainable transport and Policies KP5, KP8, T1, T5 of the Cardiff Local Development Plan 2006-2026 and condition 3 has been imposed to ensure such provision is provided.

5.7 **Waste** - In respect of waste storage facilities each flat will require the following for recycling and waste collections:

1 x 140 litre bin for general waste

1 x 25 litre kerbside caddy for food waste
Green bags for mixed recycling (equivalent to 140 litres)

Details of waste storage facilities have been submitted which is considered acceptable and condition 4 has been imposed to ensure such provision is made.

It should also be noted that the location of the waste storage area has also been moved to the side of the property away from the neighbouring occupier at 24 St Gildas Road.

5.8 Ecology Consideration – It is considered that given the heavily built up location of the area and the style and condition of the building and materials used there is the possibility that bats or nesting birds may be present. Any works undertaken which may cause harm to a European Protected Species or to nesting birds is an offense therefore Informative 2 and 3 have been included to bring this to the applicants attention.

5.9 Objections – In respect of the objections which are not covered above the following should be noted:

- The extensions to the property will be out of character with the area – This is covered in Sections 5.3 and 5.4 of this report;
- The roof design and front dormer out of keeping - This is covered in Sections 5.3 and 5.4 of this report;
- Loss of light - This is covered in Sections 5.3 and 5.4 of this report;
- Potential concerns regarding access to the funeral home next door being blocked and associated noise and disruption during the build – This would be a civil matter between the applicant and the neighbour;
- Overlooking and loss of privacy from the windows on St Gildas Road elevation facing the property directly opposite – this is covered in paragraph 5.3 of this report;
- Impact on parking as there is already parking problems associated with the property – this is covered in Section 5.6 of this report;
- Overlooking and loss of privacy from rear dormer window – This is covered in Section 5.4 of this report;
- Location of the refuse store adjacent to the boundary with the adjoining property and potential smell and rodent issues this may cause – The waste storage area has since been moved away from the boundary with 24 St Gildas Road.
- Two new windows have been included into the side elevation which will result in a loss of privacy – This is covered in Section 5.3 of this report and condition 5;
- Overdevelopment of the site – This is covered in Section 5.2 to 5.4 of this report;

- Concerns the waste storage area is not large enough – The waste storage area meets with the requirements of the Waste Collection and Storage Facilities SPG.

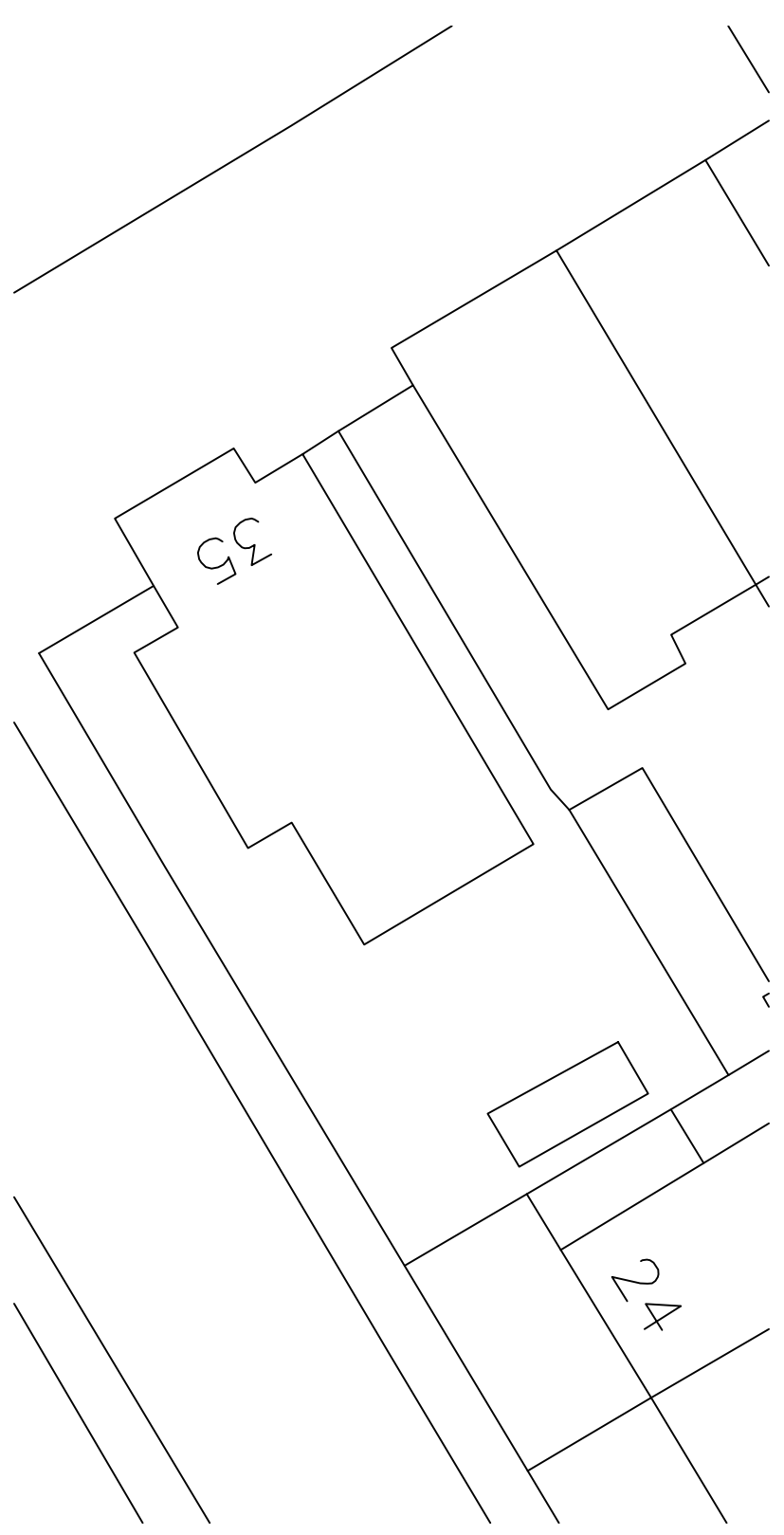
6. OTHER CONSIDERATIONS

- 6.1 Crime and Disorder Act 1998 – Section 17(1) of the Crime and Disorder Act 1998 imposes duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.
- 6.2 Equality Act 2010 – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.
- 6.3 Well-Being of Future Generations Act 2016 – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

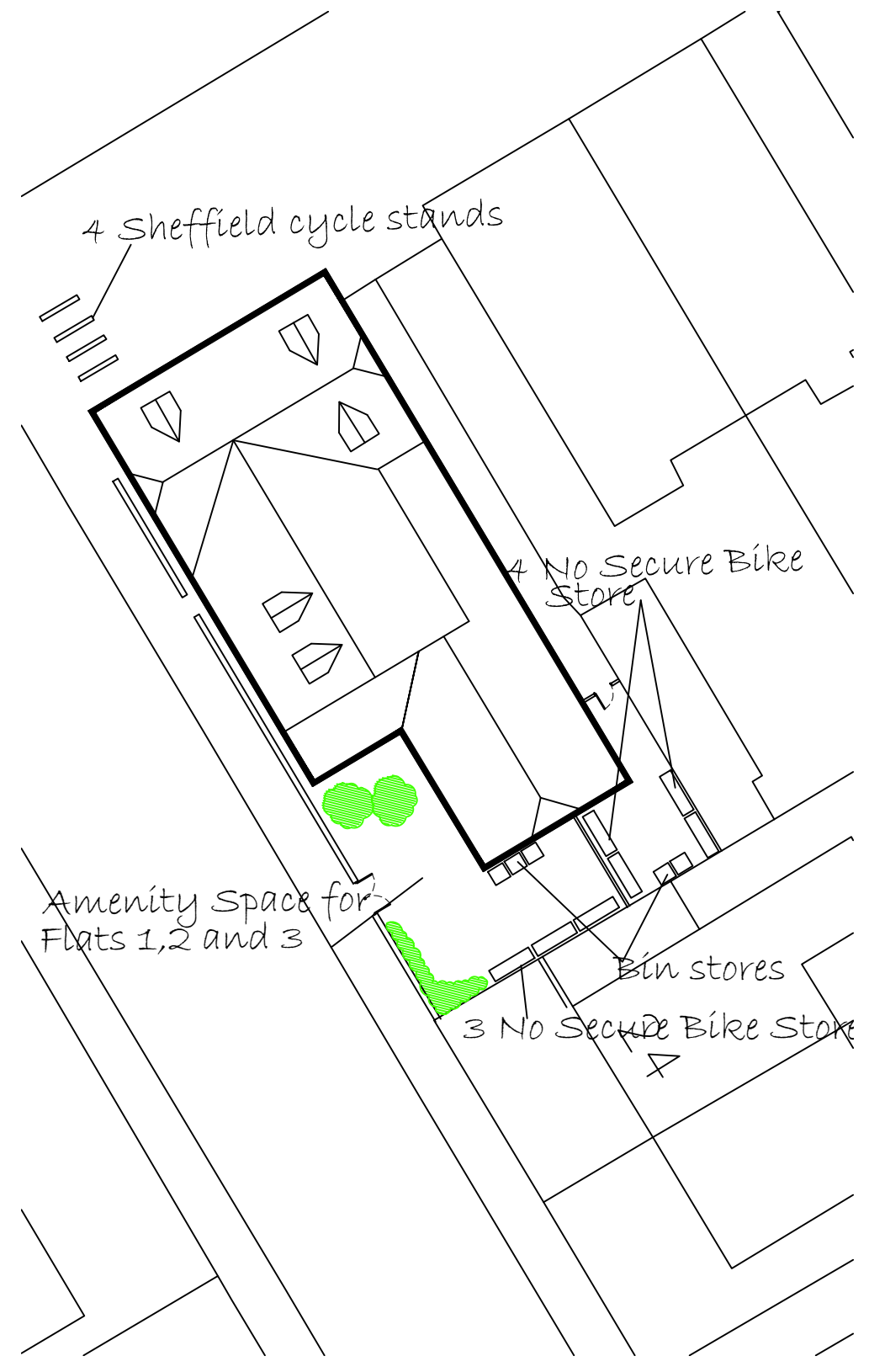
7. RECOMMENDATION

- 7.1 Having taken all of the relevant factors into consideration the proposal as revised has overcome the previous reasons for refusal. The development is considered acceptable in regards to its scale and design and would not result in an unneighbourly form of development to the detriment of the adjoining neighbouring occupiers or the street scene. It will also provide for improved facilities for customers of the existing pharmacy and provide two additional flats providing a good standard of residential accommodation which will add to the existing housing stock.

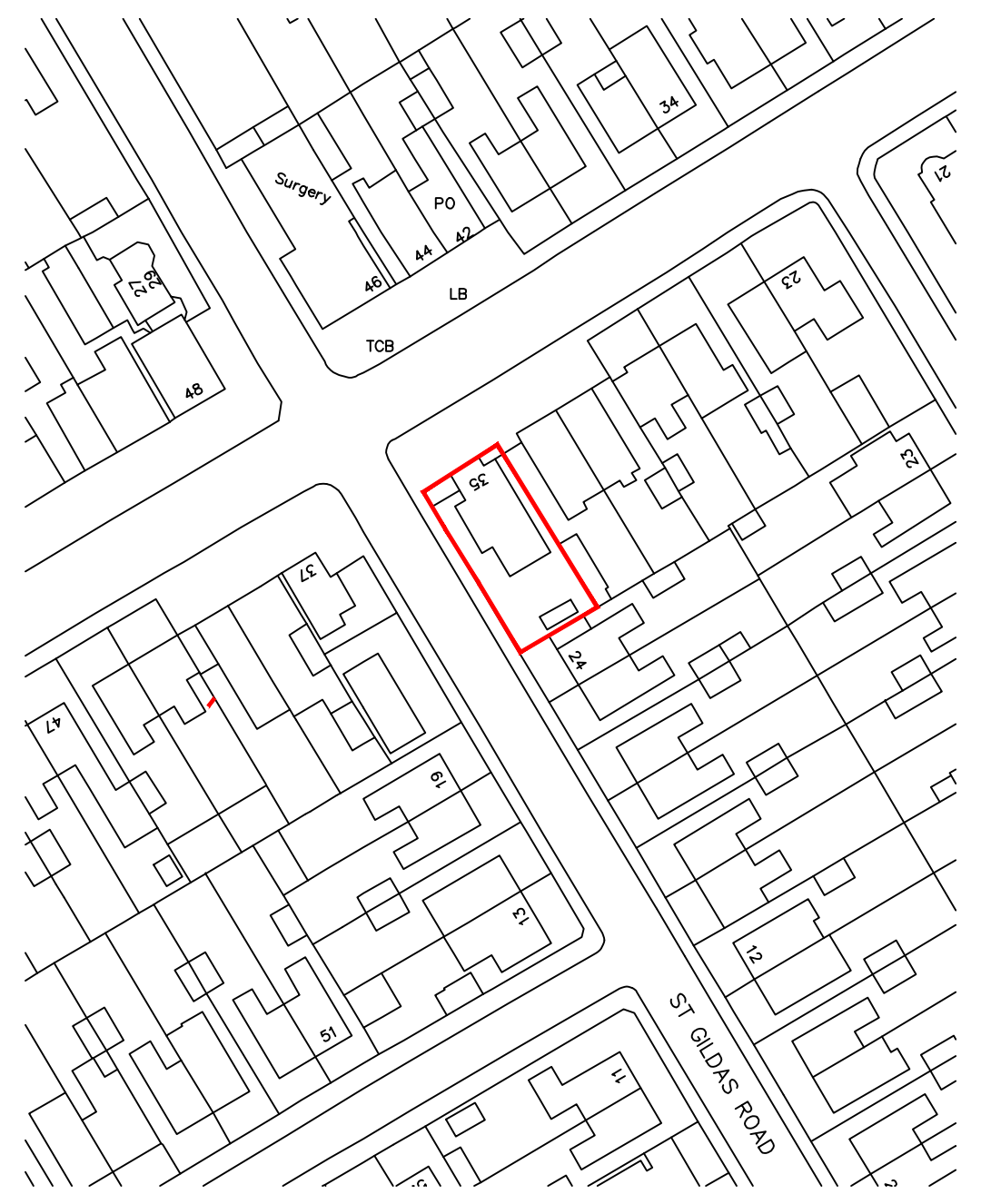
It is therefore recommended that planning permission be granted subject to conditions.



EXISTING SITE LAYOUT scale 1:250



PROPOSED SITE LAYOUT scale 1:250



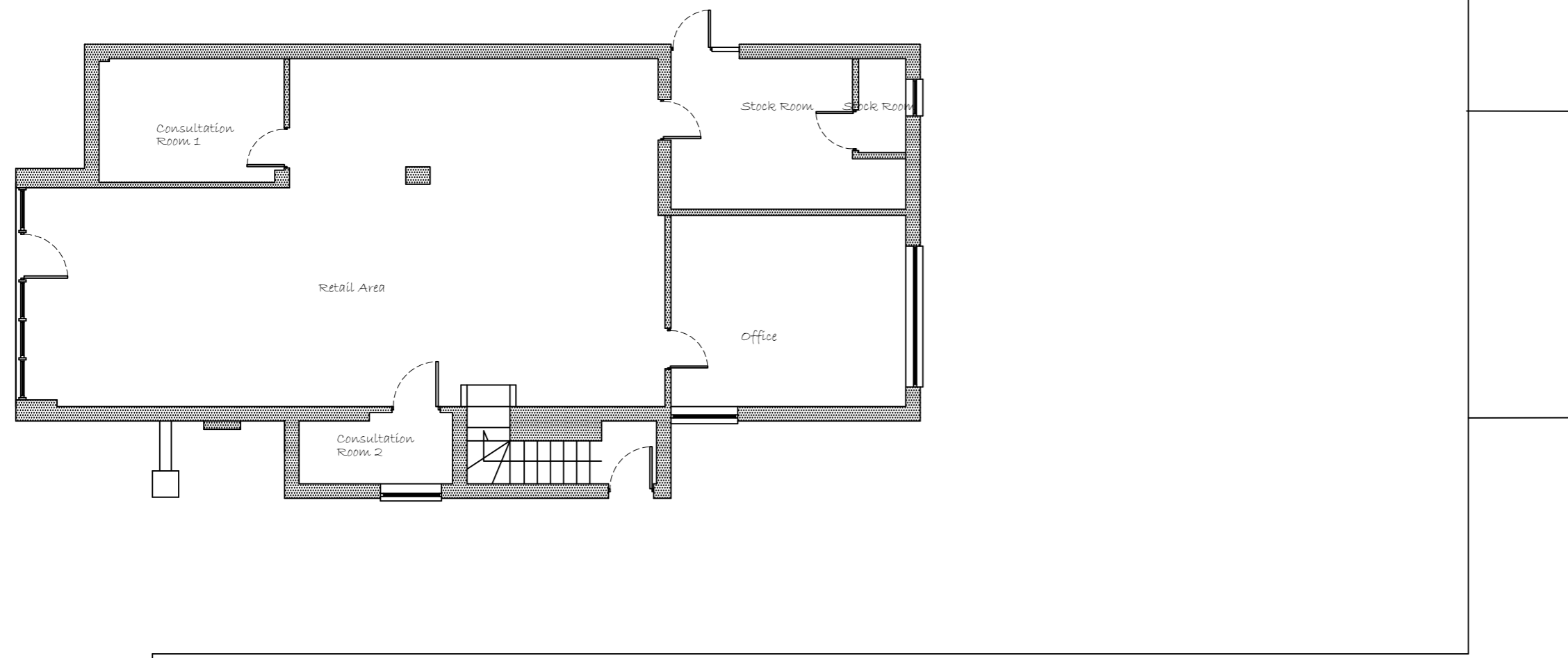
LOCATION PLAN scale 1:1000

The contractor is to check and verify all building dimensions, levels and sewer invert levels at the connection point prior to starting works
The contractor is to comply in all respects with British Standard Specifications, Building Regulations etc whether or not specifically stated on this drawing.

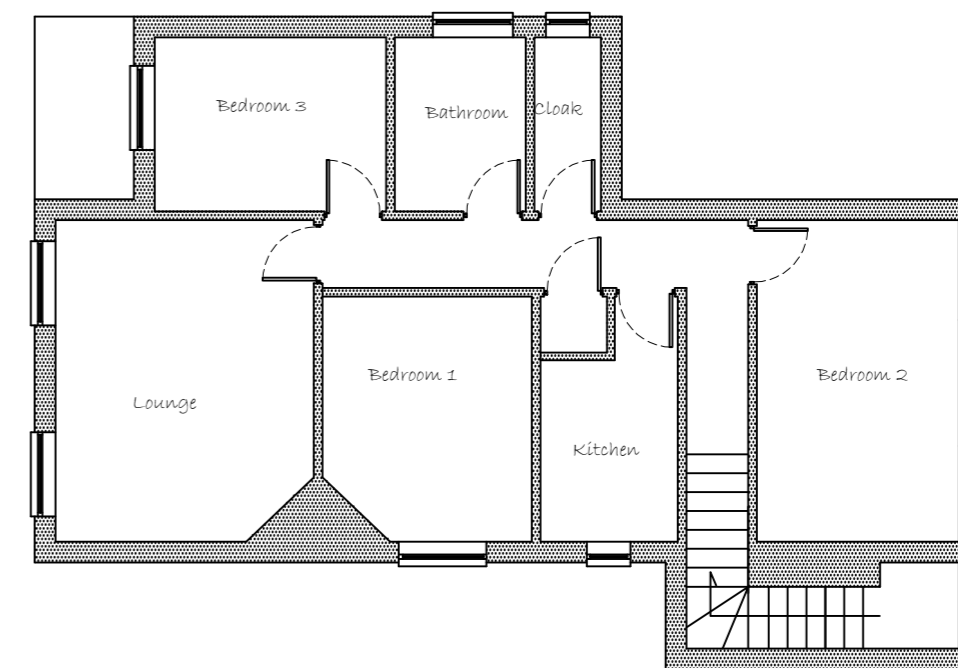
This drawing is to be read with and checked against any structural geotechnical or other specialist documentation.
Where existing trees are to be retained they should be the subject of a full Arboricultural report
The client is to confirm all legal boundaries prior to site start
The contractor is to provide method statement and risk assessment

PROJECT CONSTRUCTION OF TWO STOREY EXTENSION TO REAR OF PROPERTY
DRAWING EXISTING AND PROPOSED SITE AND LOCATION PLAN
ADDRESS 33 ST ISAN RD, HEATH CARDIFF
1:1000 and 1:250 @ A3
Drawing Number 006 REV B
Date OCTOBER 2022

Existing Elevations and Floor Plan Layout



Ground Floor Plan Layout Scale 1:100



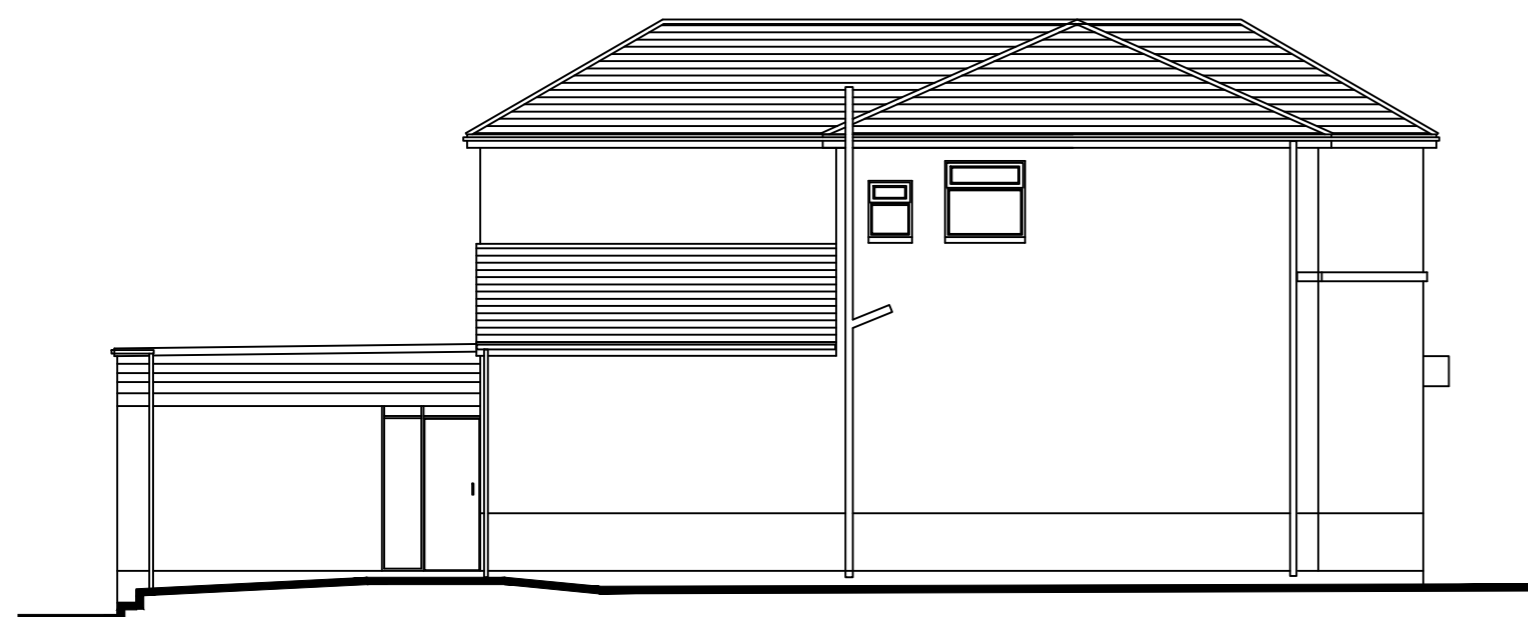
First Floor Plan Layout Scale 1:100



Rear Elevation Scale 1:100



Side Elevation Scale 1:100



Side Elevation Scale 1:100



Front Elevation Scale 1:100

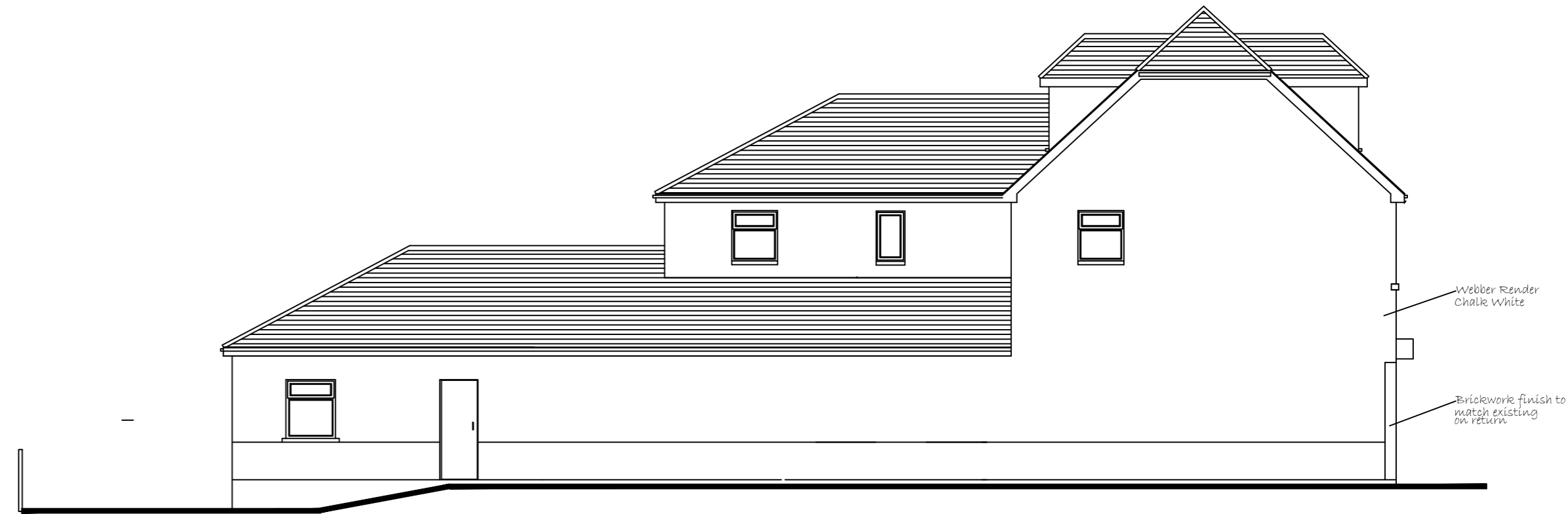
The contractor is to check and verify all building dimensions, levels and sewer invert levels at the connection point prior to starting works
 The contractor is to comply in all respects with British Standard Specifications, Building Regulations etc whether or not specifically stated on this drawing.
 This drawing is to be read with and checked against any structural geotechnical or other specialist documentation.
 Where existing trees are to be retained they should be the subject of a full Arboricultural report
 The client is to confirm all legal boundaries prior to site start
 The contractor is to provide method statement and risk assessment

PROJECT
 TWO STOREY EXTENSION
 TO REAR OF PROPERTY
 DRAWING
 EXISTING- ELEVATIONS
 FLOOR PLAN LAYOUTS
 ADDRESS
 33 ST ISAN ROAD CARDIFF

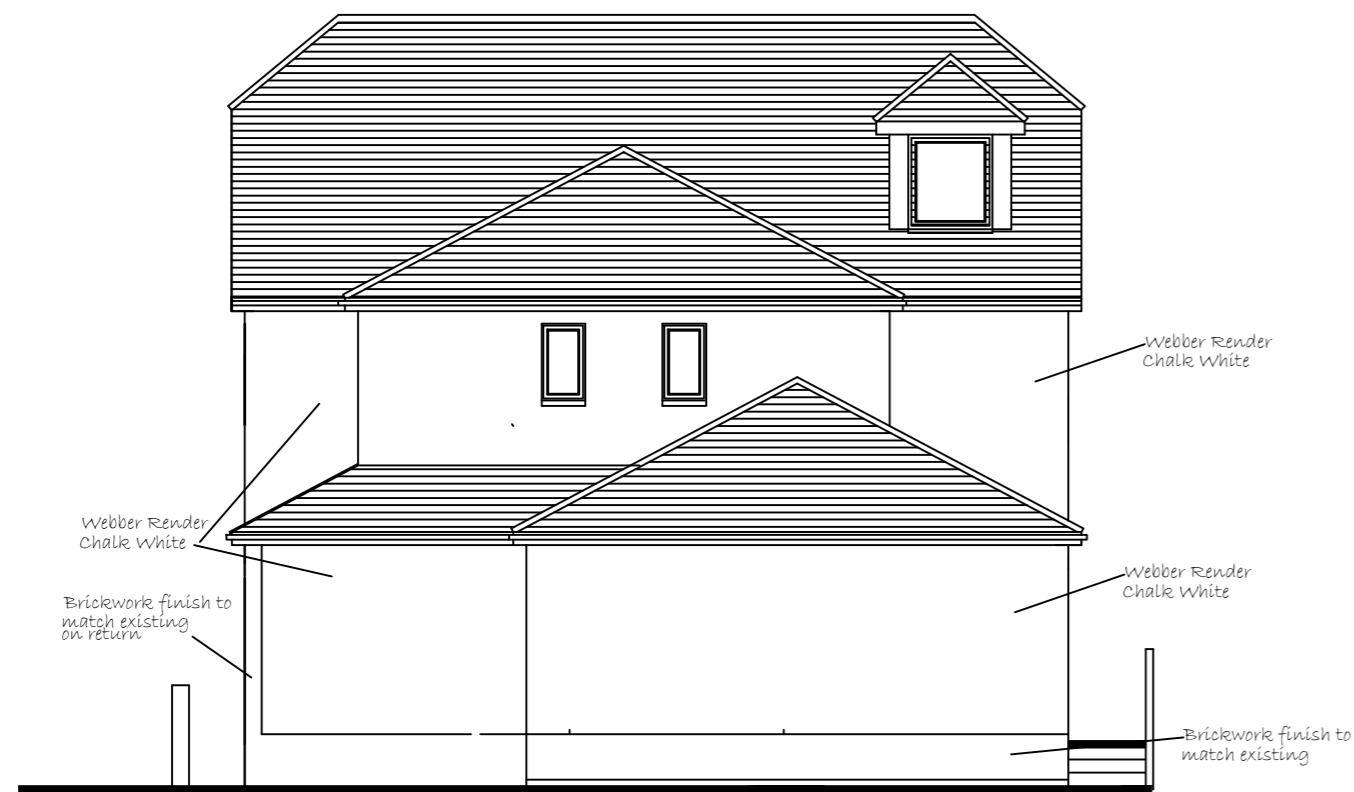
1:100 @ A2
 DRAWING NO 01
 DATE SEPTEMBER 2022



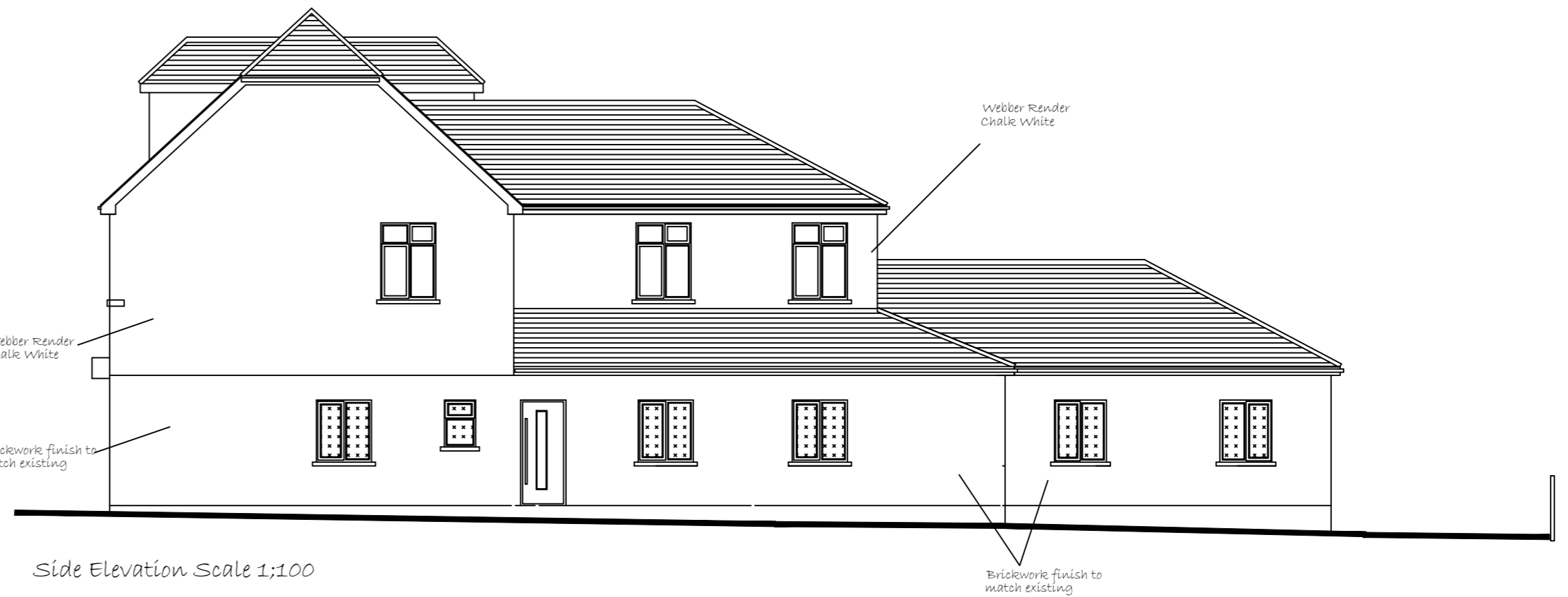
Front Elevation Scale 1:100



Side Elevation Scale 1:100



Rear Elevation Scale 1:100



Side Elevation Scale 1:100

The contractor is to check and verify all building dimensions, levels and sewer invert levels at the connection point prior to starting works

The contractor is to comply in all respects with British Standard Specifications, Building Regulations etc whether or not specifically stated on this drawing.

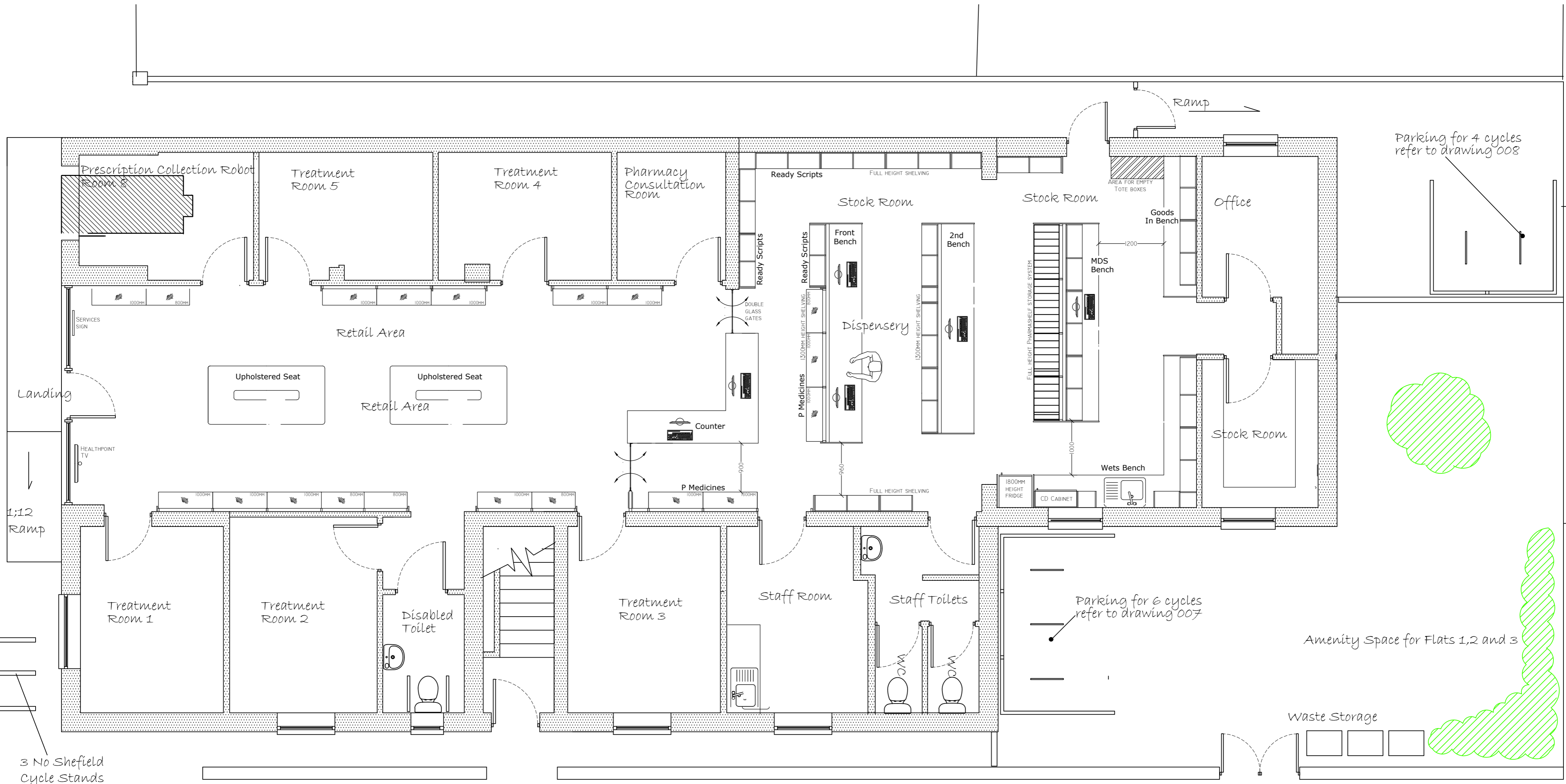
This drawing is to be read with and checked against any structural geotechnical or other specialist documentation. Where existing trees are to be retained they should be the subject of a full Arboricultural report

The client is to confirm all legal boundaries prior to site start. The contractor is to provide method statement and risk assessment

PROJECT
TWO STOREY EXTENSION
TO REAR OF PROPERTY
DRAWING
PROPOSED - ELEVATIONS

ADDRESS
33 ST ISAN ROAD CARDIFF

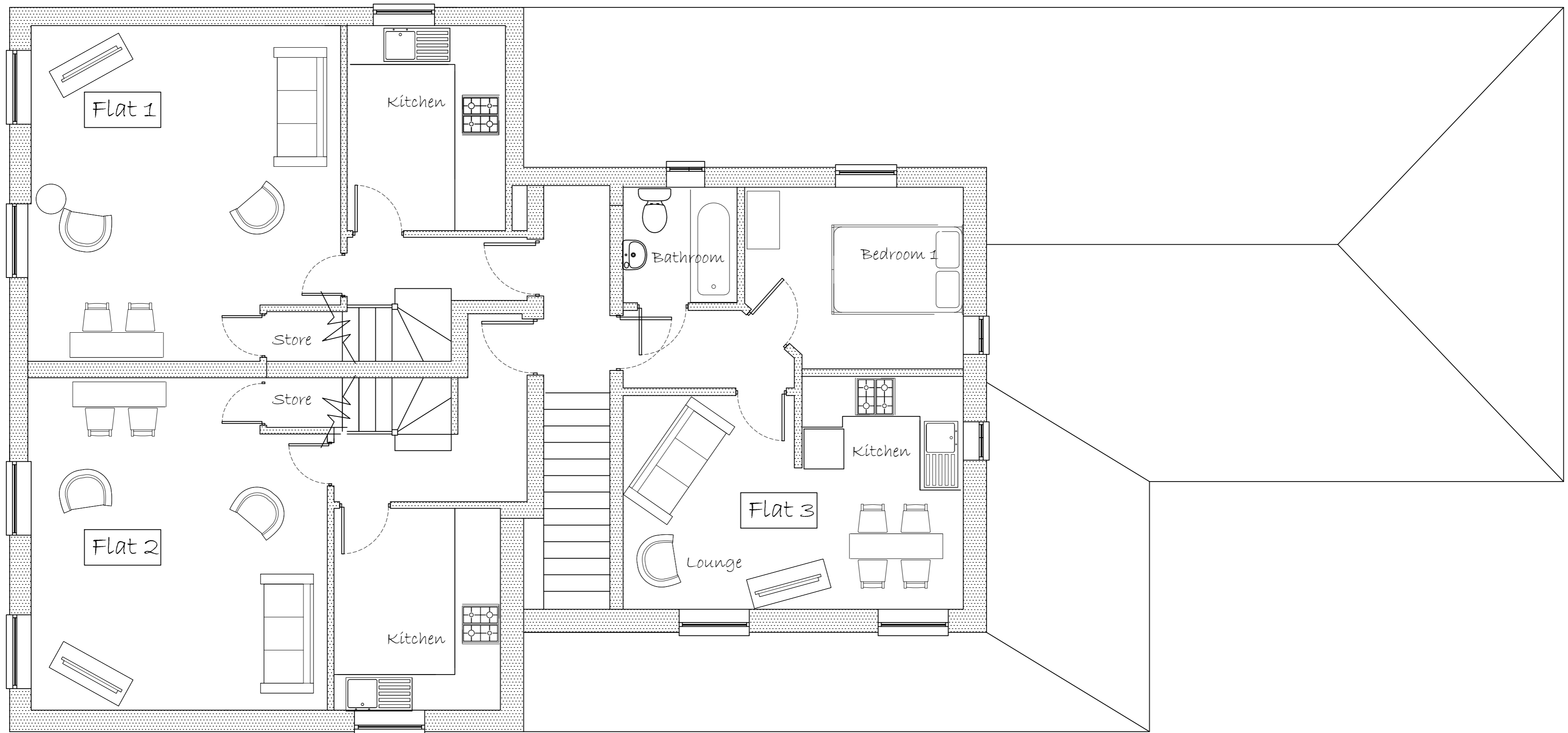
1:100 @ A2
DRAWING NO 02 REV B
DATE SEPTEMBER 2022



Ground Floor Plan Layout Scale 1:50

The contractor is to check and verify all building dimensions, levels and sewer invert levels at the connection point prior to starting works
 The contractor is to comply in all respects with British Standard Specifications, Building Regulations etc whether or not specifically stated on this drawing.
 This drawing is to be read with and checked against any structural geotechnical or other specialist documentation.
 Where existing trees are to be retained they should be the subject of a full Arboricultural report
 The client is to confirm all legal boundaries prior to site start
 The contractor is to provide method statement and risk assessment

PROJECT
 TWO STOREY EXTENSION
 TO REAR OF PROPERTY
 DRAWING
 PROPOSED - GROUND FLOOR
 LAYOUT
 ADDRESS
 33 ST ISAN ROAD CARDIFF
 1:50 @ A2
 DRAWING NO 03 Rev D
 DATE SEPTEMBER 2022



First Floor Plan Layout Scale 1:50

The contractor is to check and verify all building dimensions, levels and sewer invert levels at the connection point prior to starting works

The contractor is to comply in all respects with British Standard Specifications, Building Regulations etc whether or not specifically stated on this drawing.

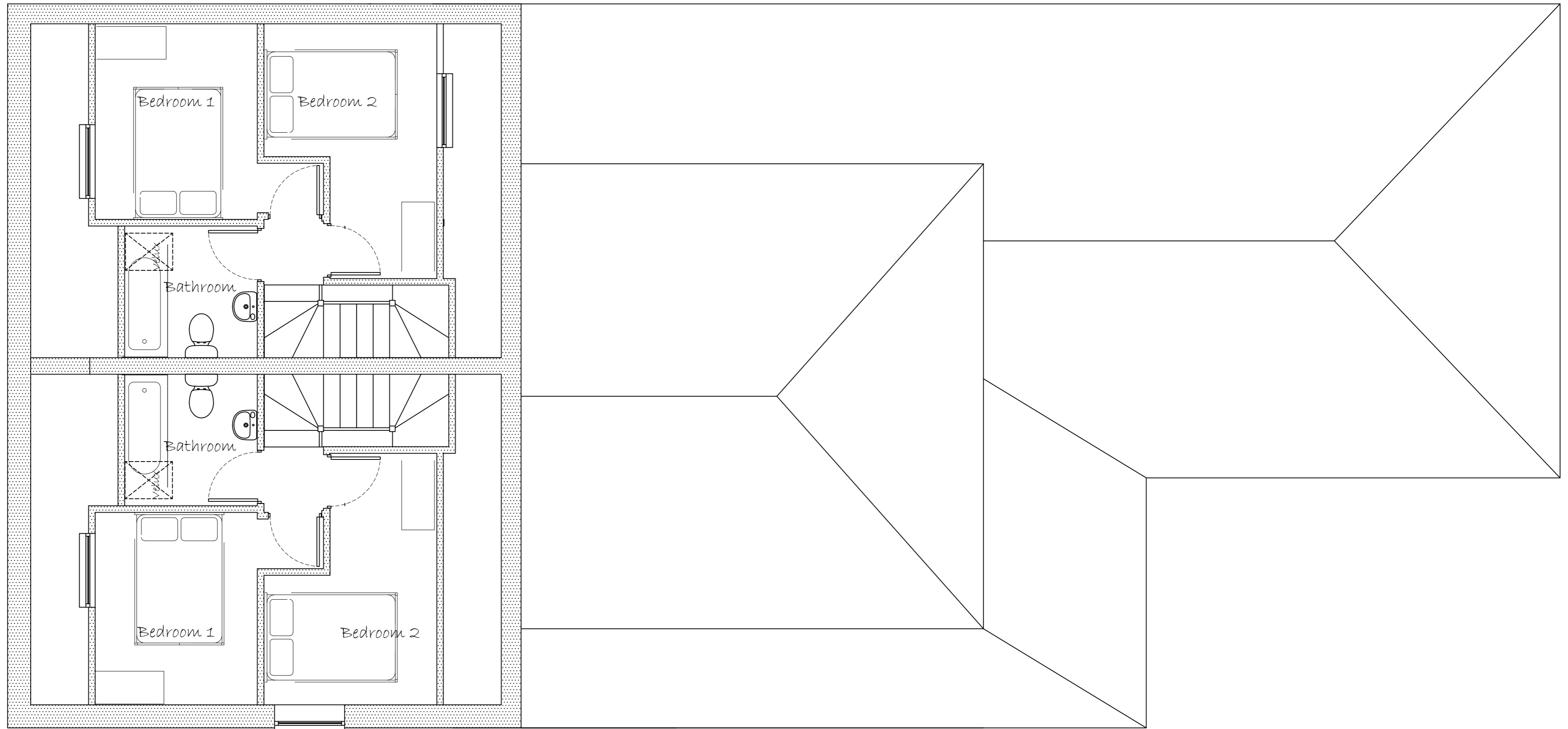
This drawing is to be read with and checked against any structural geotechnical or other specialist documentation. Where existing trees are to be retained they should be the subject of a full Arboricultural report

The client is to confirm all legal boundaries prior to site start
The contractor is to provide method statement and risk assessment

PROJECT
TWO STOREY EXTENSION
TO REAR OF PROPERTY
DRAWING
PROPOSED - FIRST FLOOR
LAYOUT

ADDRESS
33 ST ISAN ROAD CARDIFF

1:50 @ A2
DRAWING NO 04 Rev C
DATE SEPTEMBER 2022



Second Floor Plan Layout Scale 1:50

The contractor is to check and verify all building dimensions, levels and sewer invert levels at the connection point prior to starting works

The contractor is to comply in all respects with British Standard Specifications, Building Regulations etc whether or not specifically stated on this drawing.

This drawing is to be read with and checked against any structural geotechnical or other specialist documentation.

Where existing trees are to be retained they should be the subject of a full Arboricultural report

The client is to confirm all legal boundaries prior to site start
The contractor is to provide method statement and risk assessment

PROJECT
TWO STOREY EXTENSION
TO REAR OF PROPERTY
DRAWING
PROPOSED - SECOND FLOOR
LAYOUT

ADDRESS
33 ST ISAN ROAD CARDIFF

1:50 @ A2
DRAWING NO 05 Rev A
DATE SEPTEMBER 2022