

St David's Hall Update

St Davids Hall

RAAC Update

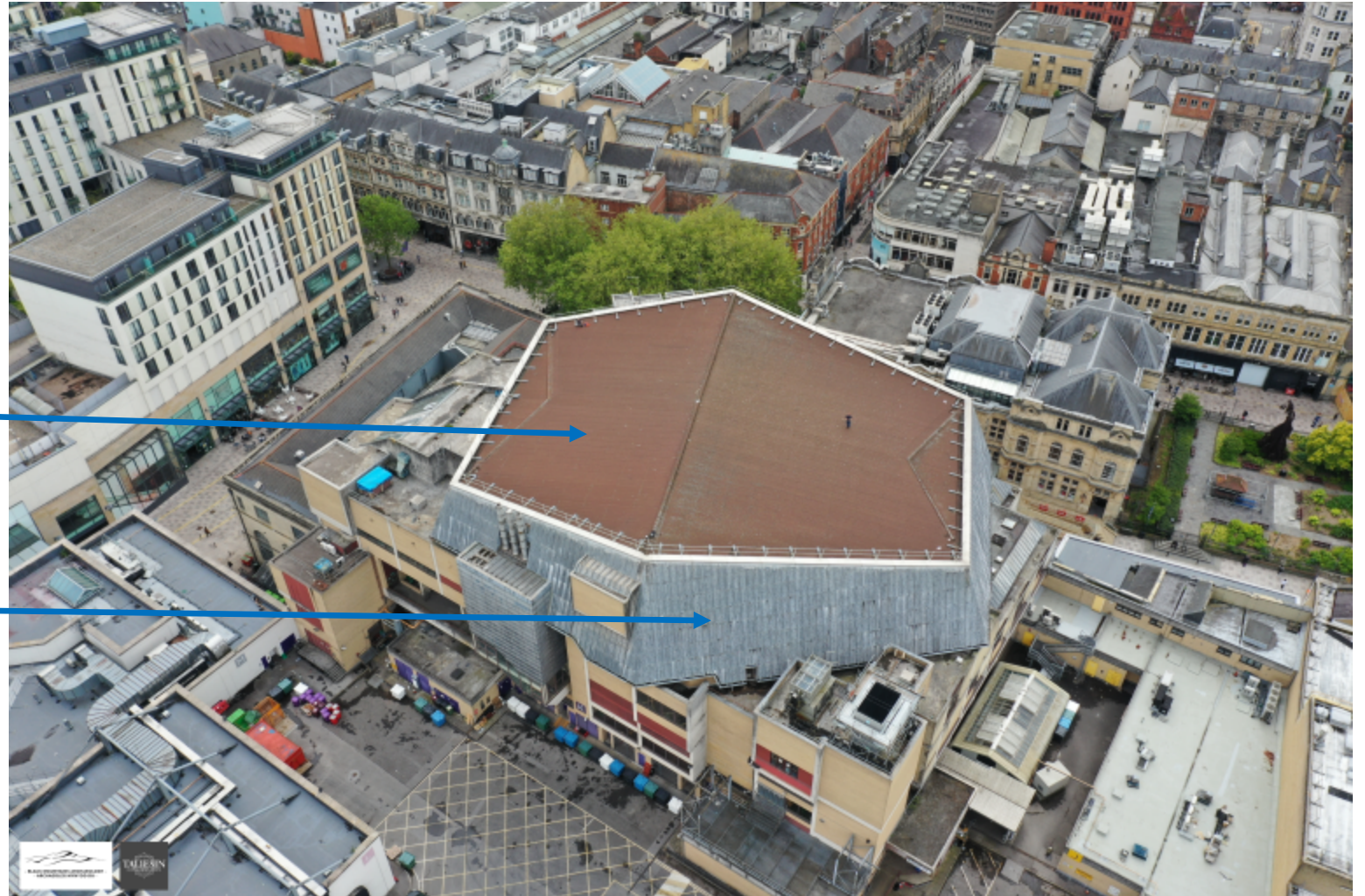


St Davids Hall

RAAC Update

RAAC Roof Planks

Woodwall Slabs



St Davids Hall

Roof Structure

RAAC Roof



Roof Membrane



RAAC Planks to underside of Roof

Woodwall Slabs



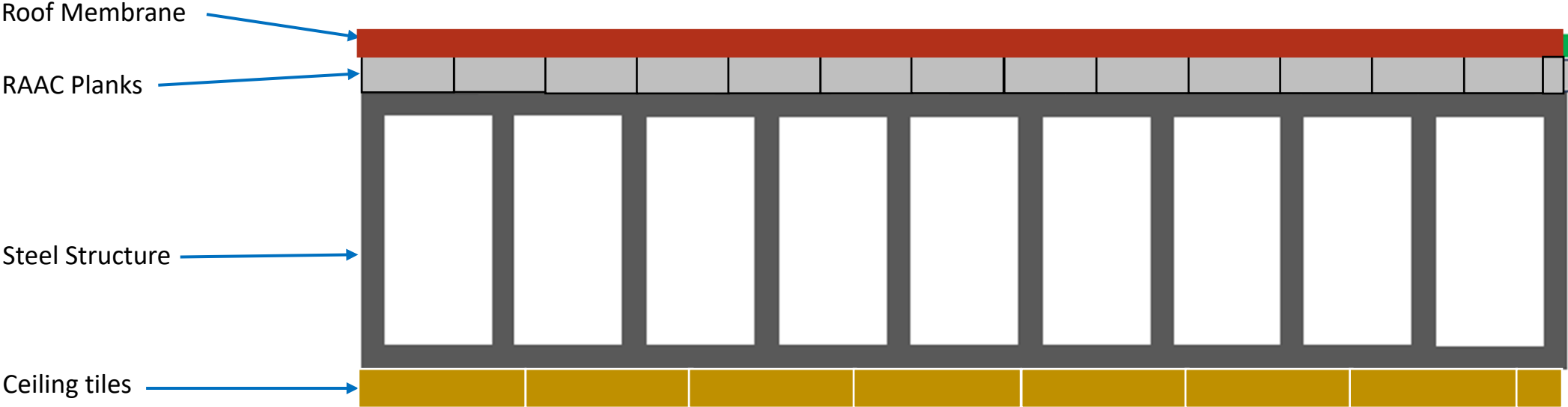
Lead faced Mansard Vertical Roof



Woodwall Slabs (Mansard Roof).

St Davids Hall

Roof Structure



St Davids Hall

Roof Structure

Roof Membrane

RAAC Planks

Steel Structure

Ceiling tiles



Example

RAAC Failure

This image provides an example of how RAAC planks fail.



THIS IS NOT ST DAVID'S HALL

St Davids Hall

RAAC Update

Intrusive Surveys

WSP were commissioned to carry-out intrusive surveys of the RAAC Planks and the supporting steel structures. Surveys were carried out via abseiling from the roof steel structure.

Summary Overview:

- 10% or 93 No of the panels will not have transverse reinforcement present over the bearing length
- making 10% of the panels **RED - CRITICAL RISK** on this point.
- The maximum bearing length encountered was 62mm which is less than the 75mm guidance making the
- average condition **RED - HIGH RISK**
- End bearing checks identified 279 No readings between 45mm and 62mm - **RED - HIGH RISK**
- Longitudinal reinforcement was found to be present in all test locations.
- 49 No End bearing measurements were found to be less than 45mm (the original design criteria), this is
- approximately 12% - **RED - CRITICAL RISK**

Therefore, the overall risk category for the roof is **RED - CRITICAL RISK**.

938 RAAC planks

B
C
D
E
F
G
H
I
J
K
L



AB 1/108

AB 1/109

A
B
C
D
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St Davids Hall

RAAC Update

Engineers Advice

- WSP has previously outlined (in the condition survey of 2021) that the RAAC Planks will need to be replaced. At the time they recommended within 5-years. (2026)
- **RED - CRITICAL** (*Building cannot re-open without remedial works to planks or replacement*).

Why remediate when you need to replace long-term? i.e. why increase cost, risk viability and lengthen closure of the building?

Also, will remedial solution be acceptable to insurers, promoters and other users?

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External Operator Process

Legal/Contractual Considerations

- Bevan Brittan has confirmed that the process to appoint AMG is still valid.
- Due to the escalated risk, AMG is now proposing to enter a Conditional Agreement to Lease to provide a period of up to 12 months to:
 - Gain listed building consent.
 - Gain Planning Permission as required.
 - Secure a viable/deliverable replacement roof solution
- The agreement would automatically revert to the 45-years full repairing lease once the conditions are met.

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External Operator Process

AMG's Position

- AMG has confirmed that they would not want the risk of re-opening the building until such time as a full roof replacement is completed.
- A full replacement from the outset also minimises the risk of any abortive time and cost associated with a temporary solution.
- AMG has received an initial cost report for the replacement of the RAAC panels and roof.
- The estimated cost is c£xxm. (This is 4-5 times the original projected budget).
- Based on the above, the estimated liability for St Davids Hall of £xxm has increased.
- AMG will commit to undertake the refurbishment of the building at the same time as addressing the RAAC roof.

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External Operator Process

Implications for St David's Hall Employees

- SDH is likely to be closed for circa 18 months. Staff will no longer TUPE and will instead be offered VS/Redeployment.
- The cost of holding staff for the remainder of 2023/24 alone would be circa £800,000 (circa 6 months).
- The estimated cost of VS is circa £1,000,000 - if all staff took it.
- All permanent, temporary and casual staff with acquired rights will be offered VS/Redeployment.
- Agency staff with more than 2 years of service will also be eligible.
- Agency staff with less than 2 years of service will be released from their assignments.
- AMG may be able to offer some staff opportunities at other AMG/Live Nation venues as an interim solution.

St Davids Hall

Next Steps

Target Programme

- **Oct 23** Enter Conditional Agreement for Lease
- **Oct 23 - Mar 24** Commence design works
- **Mar 24 - May 24** Apply for Listed Building Consent
- **May 24 - Jul 24** Determination of Consent. *(Could also require planning which may extend this period)*
- **Jul 24** Works Commence. *(If planning required Oct 24)*
- **Dec 24** Re-open St Davids Hall. *(If planning required Mar 25)*