

LOCAL MEMBER OBJECTION

COMMITTEE DATE: 20/11/2019

APPLICATION No. **19/01917/MNR** APPLICATION DATE: 05/07/2019

ED: **LLANDAFF**

APP: TYPE: Full Planning Permission

APPLICANT: Mr. M. Ashford & Ms. J. Howells Ashford & Howells
LOCATION: 5A WAUN GRON ROAD, LLANDAFF, CARDIFF, CF5 2JJ
PROPOSAL: PROPOSED THREE BEDROOM DWELLING EXTENSION TO
SIDE OF EXISTING MAIN DWELLING

RECOMMENDATION 1 : That planning permission be **GRANTED** subject to the following conditions :

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans and documents:

0868/19 REV F – Proposed site plan
0868/20 REV D – Proposed ground floor level plan
0868/21 REV D – Proposed first floor level plan
0868/22 REV D - Proposed second floor level plan
0868/24 REV E – Proposed street view
0868/25 REV G – Proposed front elevation
0868/26 REV G – Proposed side elevation
0868/27 REV G – Proposed rear elevation
0868/28 REV A – Proposed site boundary elevation
0868/29 REV A – Proposed garden elevation

Reason: For the avoidance of doubt as to the extent of the permission.

3. No development shall take place until a detailed surface water drainage scheme for the site, based on sustainable drainage principles and an assessment of the hydrological and hydrogeological context of the development, have been submitted to and approved in writing by the Local Planning Authority (LPA) in consultation with the Lead Local Flood Authority. The scheme to be submitted shall:
 - (a) include the results of an infiltration assessment, undertaken in accordance with BRE365 guidance, into the site's potential for the use of infiltration SuDS,
 - (b) include a Design Statement which shall explain the operation of the surface water drainage scheme, outline constraints, identify assumptions/limitations, confirm available data, confirm design

- criteria, provide information about the measures taken to prevent pollution of the receiving groundwater and/or surface waters and demonstrate compliance with CIRIA C753;
- (c) include design details in support of any surface water drainage scheme, including layout plans and cross section drawings, network details, details of any attenuation system and outfall arrangements, and overland flow and modified/ exceedance flow route plans
 - (d) include supporting calculations, which shall demonstrate the performance of the drainage system for a range of return periods and duration inclusive of the 1 in 1 year, 1 in 2 year, 1 in 30 year, 1 in 100 year and 1 in 100 year plus 30% allowance for climate change return periods, demonstrate the proposed allowance for exceedance flow and associated overland flow routing, and demonstrate the structural integrity of all elements under anticipated loading conditions over the design life of the development.

The scheme shall be implemented in accordance with the approved details prior to the occupation of the dwelling.

Reason: In the interests of the proper drainage of the site, in accordance with policy EN10 of the Cardiff Local Development Plan.

4. No development shall take place until details of the implementation, maintenance and management of the sustainable drainage scheme have been submitted to and approved in writing by the local planning authority. The scheme shall be implemented and thereafter managed and maintained in accordance with the approved details. Those details shall include:
- i. A timetable for its implementation;
 - ii. A management and maintenance plan for the lifetime of the development which shall include the arrangements for the adoption by any public body or statutory undertaker, or any other arrangement to secure the operation of the sustainable drainage system throughout its lifetime.

Reason: In the interests of the proper drainage of the site, in accordance with policy EN10 of the Cardiff Local Development Plan.

5. No development shall take place until infiltration testing in accordance with BRE365 guidance has been completed and the results submitted to and approved in writing by the Local Planning Authority. Where groundwater is encountered, a proportionate groundwater assessment, including for long term seasonal monitoring, shall be undertaken to identify the likely risk of groundwater flooding and a scheme to manage and mitigate the risk associated with flooding from this source shall be submitted to and approved in writing by the Local Planning Authority (LPA) in consultation with the Lead Local Flood Authority. The scheme shall be implemented in accordance with the approved details prior to

the occupation of the dwelling.

Reason: In the interests of the proper drainage of the site, in accordance with policy EN10 of the Cardiff Local Development Plan.

6. The development shall not be occupied until facilities for the secure storage of cycles at a rate of at least one cycle space per bedroom have been provided in accordance with details to be submitted to and approved in writing by the local planning authority and the approved facilities shall be retained in perpetuity.

Reason: To ensure that adequate provision is made for the secure parking of cycles in accordance with policies KP5 and T5 of the Cardiff Local Development Plan.

7. Notwithstanding the details shown on the approved proposed site plan, prior to the development hereby permitted being brought into beneficial use provision shall be made for the parking and manoeuvring of vehicles within the site in accordance with details to be submitted to and approved in writing by the local planning authority, such approval to be obtained prior to the commencement of development.

Reason: To ensure that appropriate car parking facilities are provided for the development and that vehicles using the approved facilities can manoeuvre adequately, in accordance with policy T5 of the Cardiff Local Development Plan.

RECOMMENDATION 2: The developer is advised that on the 7th January 2019 Schedule 3 of the Flood and Water Management Act 2010 was enacted. This affects all new developments where the construction area is of 100 square metres or more. Cardiff Council is aware that your application for planning permission was validated after the recent legislative change in which Schedule 3 of the Flood and Water Management Act was enacted and therefore may be subject to surface water drainage proposals under the SAB application process.

It is recommended that the developer engage in consultation with the Cardiff Council SAB team as the determining SuDS Approval Body (SAB) in relation to their proposals for SuDS features. Cardiff Council are aware that this is new legislation and as such we are offering a free pre-application service for the first year. To arrange discussion regarding this please contact SAB@cardiff.gov.uk In the meantime if you require further information please review our website: <https://www.cardiff.gov.uk/ENG/resident/planning-and-suds/suds-approval-body/>

Or, alternatively you can review the legislation set by Welsh Government here: <https://gweddi.gov.wales/topics/environmentcountryside/epq/flooding/drainage/>

RECOMMENDATION 3: The applicant is advised that they may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is

now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. Further information can be obtained via the Developer Services pages of www.dwrcymru.com. The applicant is also advised that some public sewers and lateral drains may not be recorded on maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times.

RECOMMENDATION 4: The applicant is advised that the property will require the following for recycling and waste collections: 1 x 140 litre black bin for general waste; 1 x 240 litre green bin for garden waste; 1 x 25 litre kerbside caddy for food waste; green bags for mixed recycling (equivalent to 140 litres), the storage of which must be sensitively integrated into the design. The kitchen should be designed to allow the separation of waste into three waste streams; general, recycling and food waste, in order to encourage the correct disposal of waste. The developers of all new residential units are required to purchase the bin provision required for each unit. The bins have to meet the Council's specifications and can be purchased directly by contacting the Waste Management's Commercial Team on 029 20717500. Further information regarding waste/recycling and the types of bins required is available in the Supplementary Planning Guidance "Waste Collection and Storage Facilities", which can be found on the Council's website.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The application is for full planning permission for the addition of a three storey extension to the side of an existing semi-detached three storey house to provide a separate dwelling, the third storey being located partly within the roof space to match the adjoining property.
- 1.2 The house would be located on the site of an existing double garage within a 10m wide gap between two large dwellings, both of which contain separate self-contained flats. The space to the front of the new dwelling would remain as a shared parking area for up to 4 cars.
- 1.3 The extension would be aligned with the front elevation of the existing house and set back slightly from the rear elevation. The front would feature a gable with tile cladding in a design to match the existing gables on the front elevations of the semi-detached houses to which it would be attached. Fenestration and architectural detailing would also match the adjoining properties and the ridge height would be continuous. There would be a single storey lean-to extension along the side elevation, extending up to the side boundary with no. 3 Waungron Road, and a walkway running through the building providing access to the rear of 5 Waungron Road and to the side entrance to the existing flats within that property. The gap between the taller part of the new building and the side of no. 3 Waungron Road would be approximately 3m.

- 1.4 To the rear around 56 square metres of the existing garden would be fenced off to provide a separate garden/patio area. The existing rear stone boundary wall and front boundary hedge would remain.

2. **DESCRIPTION OF SITE**

- 2.1 The application site lies on the southern side of Waungron Road, within the curtilage of no. 5 and within a 10m wide gap between numbers 3 and 5. It is currently occupied by a detached 5.5m wide x 5.5m long single storey double garage with a double-pitched roof. A low level stone wall and mature hedge runs along the front garden boundary.
- 2.2 The existing properties on this part of Waungron Road are large, detached and semi-detached, 2 and 3 storey dwellings dating from the early 20th century. Waungron Road at this point is divided into two lanes running either side of a tree lined central verge and the houses on the northern side are of a smaller scale and are similar in design. Those on the Southern side are larger and of more varied designs, and are constructed of a mixture of stonework, facing brick, decorated render and clay hanging tiles with slate, clay and concrete tile pitched roofs. Several have been converted to separate flats.
- 2.3 5 Waungron Road is a 10.4m wide, semi-detached, three storey residential property containing 3 flats. It has a hipped roof, a projecting front gable with double pitched roof, a flat roofed dormer to the side elevation, single storey rear extensions, a rear balcony and access stair and rear dormers. It is finished in a mixture of red clay brick, white painted render, dressed stone, random grey stone and red clay hanging tiles. The roof is finished in red profile concrete tiles. To the rear is a triangular-shaped shared garden area measuring around 130 square metres.

3. **SITE HISTORY**

- 3.1 18/03067/MNR – Proposed new three bedroom dwelling on site of existing double garage. Refused – 1) visually incongruous feature, out of scale and out of character with existing development in the locality; 2) insufficient outdoor amenity space; 3) adverse impact on window in side elevation of 3 Waungron Road.
- 3.2 08/02021/W – Extension to first floor balcony (5b Waun Gron Road)
- 3.3 01/01287/W – Open sundeck off kitchen at rear of first floor flat, to join existing first floor landing and stairs. (5b Waun Gron Road)

4. **POLICY FRAMEWORK**

- 4.1 *Cardiff Local Development Plan 2006-2021:*
KP5 (Good Quality and Sustainable Design);
KP13 (Responding to Evidenced Social Needs);
KP15 (Climate Change);

KP16 (Green Infrastructure);
EN10 (Water Sensitive Design);
T5 (Managing Transport Impacts);
C3 (Community Safety/Creating Safe Environments);
W2 (Provision for Waste Management Facilities in Development

4.2 *Supplementary Planning Guidance:*

Waste Collection and Storage Facilities (October 2016);
Cardiff Infill Sites (November 2017);
Cardiff Residential Extensions and Alterations (November 2017);
Managing Transportation Impacts (Incorporating Parking Standards)
(2018).

4.3 *Planning Policy Wales (Edition 10 – December 2018):*

2.2 All development decisions, either through development plans policy choices or individual development management decisions should seek to contribute towards the making of sustainable places and improved well being.

3.4 Meeting the objectives of good design should be the aim of all those involved in the development process and applied to all development proposals, at all scales.

3.6 Development proposals must address the issues of inclusivity and accessibility for all.

3.9 The layout, form, scale and visual appearance of a proposed development and its relationship to its surroundings are important planning considerations.

3.11 Local authorities are under a legal obligation to consider the need to prevent and reduce crime and disorder in all decisions that they take.

4.1.31 Planning authorities must ensure new housing, jobs, shopping, leisure and services are highly accessible by walking and cycling.

4.1.34 New development must provide appropriate levels of secure, integrated, convenient and accessible cycle parking and changing facilities. As well as providing cycle parking near destinations, consideration must also be given to where people will leave their bike at home.

4.1.36 Planning authorities must direct development to locations most accessible by public transport. They should ensure that development sites which are well served by public transport are used for travel intensive uses, such as housing, jobs, shopping, leisure and services, reallocating their use if necessary.

4.1.52 Planning authorities must require good standards of car parking design, which do not allow vehicles to dominate the street or inconvenience people walking and cycling. Car parking should be overlooked by surrounding properties, to provide natural surveillance.

4.1.53 Parking standards should be applied flexibly and allow for the provision of lower levels of parking and the creation of high quality places.

4.2.22 Planning authorities will need to ensure that in development plans and through the development management process they make the most efficient use of land and buildings in their areas. Higher densities must be encouraged on sites in town centres and other sites which have good

walking, cycling and public transport links.

4.2.23 Infill and windfall sites can make a useful contribution to the delivery of housing. Proposals for housing on infill and windfall sites within settlements should be supported where they accord with the national sustainable placemaking outcomes.

5.12.9 Adequate facilities and space for the collection, composting and recycling of waste materials should be incorporated into the design and, where appropriate, layout of any development as well as waste prevention measures at the design, construction and demolition stage.

6.6.19 Development proposals should incorporate design for surface water management, based on principles which work with nature to facilitate the natural functioning of the water cycle, providing issues such as land contamination would not result in the mobilisation of contaminants which may have an impact over a wider area.

4.4 *Technical Advice Note 12 - Design (March 2016).*

5. **INTERNAL CONSULTEE RESPONSES**

5.1 *Transportation:* No comments received.

5.2 *Drainage:* Recommend deferring the application until full drainage details are submitted or imposing conditions requiring the approval of a scheme for the disposal of surface water including an assessment of the potential disposal of surface water via sustainable means.

5.3 *Waste Strategy & Minimisation Officer:* The property will require the following for recycling and waste collections: 1 x 140 litre black bin for general waste; 1 x 240 litre green bin for garden waste; 1 x 25 litre kerbside caddy for food waste; green bags for mixed recycling (equivalent to 140 litres). The kitchen should be designed to allow the separation of waste into three waste streams; general, recycling and food waste, in order to encourage the correct disposal of waste.

6. **EXTERNAL CONSULTEES RESPONSES**

6.1 *Welsh Water:* Cannot support the application in full in the absence of a surface water strategy in which an assessment is undertaken to explore the potential to dispose of surface water by sustainable means. If permission is to be granted, request a condition requiring the approval of an appropriate drainage scheme. The applicant may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer.

7. **REPRESENTATIONS**

7.1 The application has been advertised by neighbour notification. 3 letters of objection have been received from occupiers of the adjoining flats at 3, 3a and 3c Waungron Road. Their grounds for objection are –

- 1) The development should not be described as an extension – there is no interconnection and it is not ancillary to the existing building;
- 2) The development would be out of keeping with the building line and

- character of existing buildings as it would create a terraced property;
- 3) The building would occupy a footprint twice that of the garage it would replace;
 - 4) The development would have even less amenity space than the previous proposal that was refused;
 - 5) Loss of space on the site frontage for the storage of bins for no.5 as well as the new development;
 - 6) Loss of sunlight to the side of no. 5. Residents will have to enter and leave the building via a tunnel;
 - 7) Loss of amenity to No. 3 Waungron Road. The building will be too close to the neighbours' front entrance;;
 - 8) Inadequate parking provision;
 - 9) Parking areas are not allocated therefore there will be uncertainty over usage and responsibility for upkeep etc.;
 - 10) The building would be overbearing and overshadowing.

7.2 Councillor Philippa Hill-John objects to the application as follows, and requested that the application be put before the planning committee to take into consideration the previous recommendation for refusal and to assess whether the proposed new application has addressed the previous points.

- Whilst the proposal is now attached it is only in external structural entities. They are still separate dwellings. It would become a semi-detached residence.
- The proposed accommodation is double in size. It is still 'visually incongruous, out of scale and character' within this locality.
- The amenity space will in fact be less than that proposed previously which was one of the reasons for refusal.
- The refuse bins currently are at the front of the building and will now have to be stored elsewhere to accommodate parking.
- Currently 2 vehicles can be parked at the front with the further 2 vehicles parked on the roadside. The current proposal further reduces the hard stand area.
- SPG reference to infill sites is not satisfied with this proposal. (para 4.11/ 4.17). To construct a 3 storey, 3 bed house into this profile of distinguished Edwardian properties is an over development of this site.
- Consideration needs to be given to the loss of amenity and current levels of natural light available particularly for the future residents of number 5 which will be reduced to a ' tunnel ' access in close proximity to number 3.

7.3 The Llandaff Society objects to the application as follows:

- No: 5 Waungron Road is one of a line of distinguished Edwardian houses that form a pleasing area of townscape in this prominent location in Llandaff.
- Llandaff Society do not object in principle to an extension to no: 5, but we do object to the current proposal, as it does not resolve the considerable design and layout challenges of doing this.
- The applicants are seeking to cram a 3 storey, 3 bedroom house into an irregular gap previously occupied by a double garage and side porch. We are concerned that the current proposal would comprise

over-development of the plot and frontage, would impact negatively on this fine Edwardian house and neighbouring properties, and could compromise the safety and well-being of future residents.

- 7.4 Their particular concerns are:
- (i) the mis-match in alignment of the windows and doors on the frontage of the existing and proposed properties;
 - (ii) the lean-to extension forming the proposed entrance to No: 5A runs up to the boundary of the plot, which is un-neighbourly and could restrict access to the rear garden for fire crews - it should be checked out for fire safety;
 - (iii) the inadequate access provided via a tunnel-like corridor into the existing flats in No: 5;
 - (iv) the multiple Velux windows on the front, side and rear elevations which would be out of character and visually intrusive.

For the above reasons we request that this application be refused.

- 7.5 A neighbour has also written to point out that the proposed forecourt area is "scarcely 60 square metres" and quotes the Access, Circulation and Parking Standards SPG paragraph 3.2.6 which states "In grouped parking areas the average requirement per car including space for access is 20 square metres". The neighbour goes on to say "Theoretically the area could possibly allow three parking spaces. However this takes no account of the passageways required to allow access to both the existing property and the proposed new property. In practical terms the area is sufficient for only two vehicles, as at present."

8. **ANALYSIS**

- 8.1 The application proposes the erection of a dwelling house contained within a side extension within a gap site between two existing buildings and is a re-submission following the refusal of an application for a separate house on the same site (reference 18/03067/MNR) which was refused because it was considered to be a visually incongruous feature, out of scale and out of character with existing development in the locality, provided insufficient outdoor amenity space, and would have an adverse impact on a window in the side elevation of 3 Waungron Road. The main issues of concern are the impact on the street scene and on the amenities of neighbouring residents and future occupiers of the development, and whether the previous concerns have been overcome.

- 8.2 The site is within an established residential area therefore there are no objections to the principle of residential development. The adopted Supplementary Planning Guidance "Infill Sites" (para. 2.13) states that :

"It is important to strike a balance between maintaining the established positive character of a residential street and introducing additional housing. To avoid a 'town cramming' effect, any proposals must:

- *Maintain a useable amenity space or garden for new as well as any existing dwellings/ occupiers.*
- *Maintain an established spacing between buildings that respects the*

- *pattern of layout in the vicinity of the site.*
- *Maintain appropriate scale and massing which respects buildings in the vicinity of the site.*
- *Respect the building line and be of a design which complements the existing street scene.”*

8.3 The proposed development is considered to have overcome the objections to the previous application in respect of these issues:

- an adequate amount of outdoor amenity space (90 square metres) would remain for the existing flats at 5A Waungron Road, and a satisfactory amount of outdoor space (56 square metres) would be provided for the new dwelling. The previous proposal included only 32 square metres of amenity space.
- the spacing between the dwellings will be narrowed at this point but, as the proposed dwelling would be in the form of an extension rather than the separate new building previously proposed, this will not have such a detrimental impact on the street scene and the character of the area and is considered, on balance, to be acceptable.
- the scale and massing of the building will harmonise with existing development in the area, particularly the large extended semi-detached dwellings adjacent at 1-3 Waungron Road. Paragraph 3.18 of the Infill Sites SPG requires infill development to “take account of and respond to existing building heights (number of storeys and floor to ceiling heights), scale and massing of buildings in the street.” Paragraph 3.13 states that *“the fenestration of new developments should complement the size, proportions, design and rhythm of detailing of neighbouring properties. The roofline should include appropriate design and pitch of roofs, ridge height, eaves level, and notice taken of any other relevant details in the street scene.”* The proposed development, unlike the previously-proposed detached dwelling, is considered to comply with these criteria.
- the extension will respect the existing building line and is designed to match the detailing and materials used in the original development.

8.4 The previous proposal was considered to have an unacceptable impact on the amenities of neighbouring residents as the building would have been located at a distance of less than 2 metres from a large obscurely glazed first floor window which gives light into the side elevation of no. 3 Waungron Road. The current proposals have moved the side elevation of the proposed extension further from the boundary with no. 3 above ground floor level so that there will now be a gap of 3 metres between the side elevation and the window. Although the proposed development still does not comply with the “25 degree rule” set out in the Infill Sites SPG (i.e. it breaks a line projecting up from the centre of the relevant window 25 degrees from the horizontal) it should be noted that this rule applies to habitable rooms which are “main daytime living spaces”. In this case, the increase in the gap between the buildings is considered, on balance, to

have overcome the previous concerns that the development would have had an overly oppressive impact on the neighbouring dwelling.

8.5 The development can provide adequate off-street car parking facilities on the site frontage in accordance with the adopted “Managing Transportation Impacts” SPG. No details of cycle storage facilities are included with the application; however, there would be access from the front of the site to the rear where there would be space for cycle parking (as well as additional and relocated bin storage) therefore these details could be required to be submitted for approval via a planning condition.

8.6 With regard to the objections received –

- 1) The development is in the form of an extension to the existing building therefore its description is considered appropriate. The description makes it clear that the proposal is for a three bedroom dwelling. There are no planning policies that would indicate that the dwelling would have to be ancillary to the existing building.
- 2) The resulting building will be around 27m wide and as this is slightly narrower than the existing dwellings at 1-3 Waungron Road it is not considered that it will appear as an incongruous terrace. The existing materials and detailing will be replicated to ensure that it matches the character of the original building, and it does not breach the existing building line.
- 3) It is not necessary for any development on this site to remain within the footprint of the building that it will replace. For the reasons given above it is considered that the size of the proposed extension is acceptable.
- 4) The layout plan shows that the dwelling will have more amenity space than was previously proposed.
- 5) Bins can be stored at the rear of the site if necessary. The Waste Management officer has raised no objections to the development.
- 6) Internal rearrangements can ensure that adequate sunlight still reaches the rooms within no. 5 and residents will access the building from the front via a covered, gated entrance rather than a “tunnel”.
- 7) The impact on no. 3 is discussed above. The front of no. 3 is unaffected and the side access will be adjacent to the single storey element of the development which will not appear unduly oppressive.
- 8) Adequate parking facilities are proposed. This is discussed elsewhere in this report. Additional details of the parking arrangements, to ensure that vehicles can manoeuvre properly into and out of the spaces, can be required via a planning condition.
- 9) This is not a material planning consideration but is a matter for residents or managers of the development to resolve.
- 10) The development would not appear overbearing and would not result in unacceptable overshadowing given its location to the north of the amenity space at the rear of the site and the fact that it would not project beyond the existing rear building line.

8.7 Councillor Philippa Hill-John’s objections are addressed above, in the responses to the neighbours’ concerns.

- 8.8 In response to the concerns of the Llandaff Society:
- (i) The applicant submitted amended plans which address the issue of the alignment of the windows in the front elevation;
 - (ii) There are many examples elsewhere of single storey extensions running up to a side boundary – this is not necessarily unacceptable from a design viewpoint. The impact on neighbouring occupiers is discussed above, and the issue of fire safety is covered by the Building Regulations.
 - (iii) The issue of the access to the flats is discussed above.
 - (iv) There will be only two rooflights on the front elevation, which will not appear out of keeping in the street scene. The two rooflights in the side elevation and one on the rear will not be easily scene from public views.
- 8.9 The neighbour's concerns about the size of the parking area are noted. However, the SPG quoted is not relevant as it has been superseded by the "Managing Transportation Impacts (Incorporating Parking Standards)" SPG (April 2018) which contains no minimum standards for numbers of parking spaces and states that *All off-street car parking spaces should have minimum dimensions of 5.0m x 2.5m (Manual for Streets 2007), with a minimum manoeuvring space of 6.0m behind a car parking bay.* (para. 6.31). The parking spaces in the arrangement shown on the plans would have a manoeuvring area of only 4.5m if the whole of the front forecourt was used for parking. However, as there is no minimum requirement for numbers of spaces, it is not necessary to use the whole area for parking. Two spaces could be provided (which is the maximum permitted for the new development in accordance with the current SPG) with the recommended 6m manoeuvring space. On-street parking would also be available for the existing flats as well as for the new development. To clarify the situation with regard to the numbers of spaces provided and to ensure that the spaces will be useable, additional details can be required via a planning condition.
- 8.10 In conclusion, it is considered that the proposals have overcome the objections to the previous application and that there are no reasonable grounds for refusal of this application. It is recommended that permission is granted subject to conditions as set out above.

9. OTHER CONSIDERATIONS

9.1 *Crime and Disorder Act 1998*

Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

9.2 *Equality Act 2010*

The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or

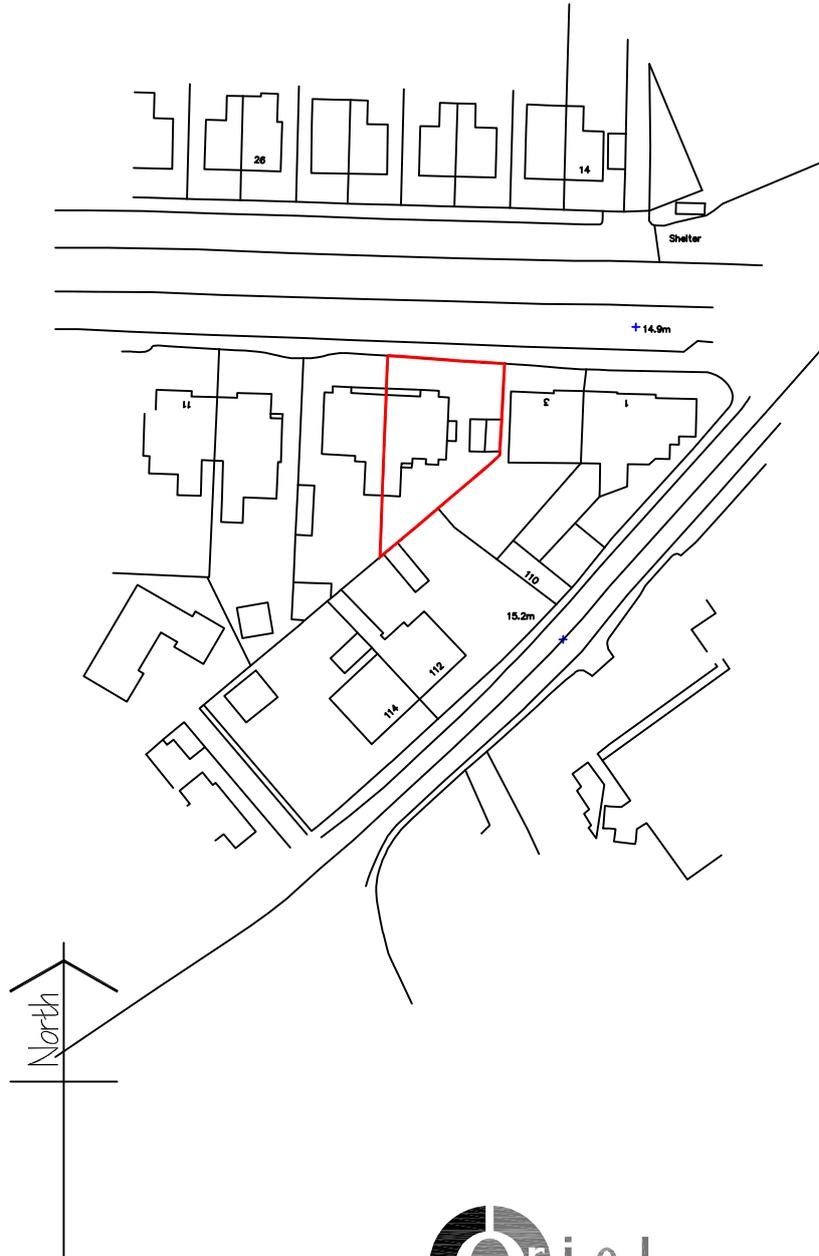
belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic, over and above any other person.

9.3 *Well-being of Future Generations (Wales) Act 2015*

The Well-being of Future Generations (Wales) Act 2015 places a duty on the Welsh Ministers (and other public bodies) to produce well-being objectives and take reasonable steps to meet those objectives in the context of the principle of sustainable development. The duty to improve the economic, social, environmental and cultural well-being of Wales, in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015 (the WBFG Act), has been considered and account has been taken of the ways of working set out at section 5 of the WBFG Act in the determination of this application, and it is considered that this decision is in accordance with the sustainable development principle through its contribution towards one or more of the well-being objectives referred to in section 9 of the WBFG Act.

REVISIONS

Rev:



Registered Architects
Project Managers
Residential Collaborative

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PROP. RESIDENTIAL DEVELOPMENT
5, WAUN-GRON ROAD,
CARDIFF.

SITE LOCATION PLAN

Drg. No. 0830/08 | Rev: | Scale: 1:1250@A4 | Date: Nov. 2018

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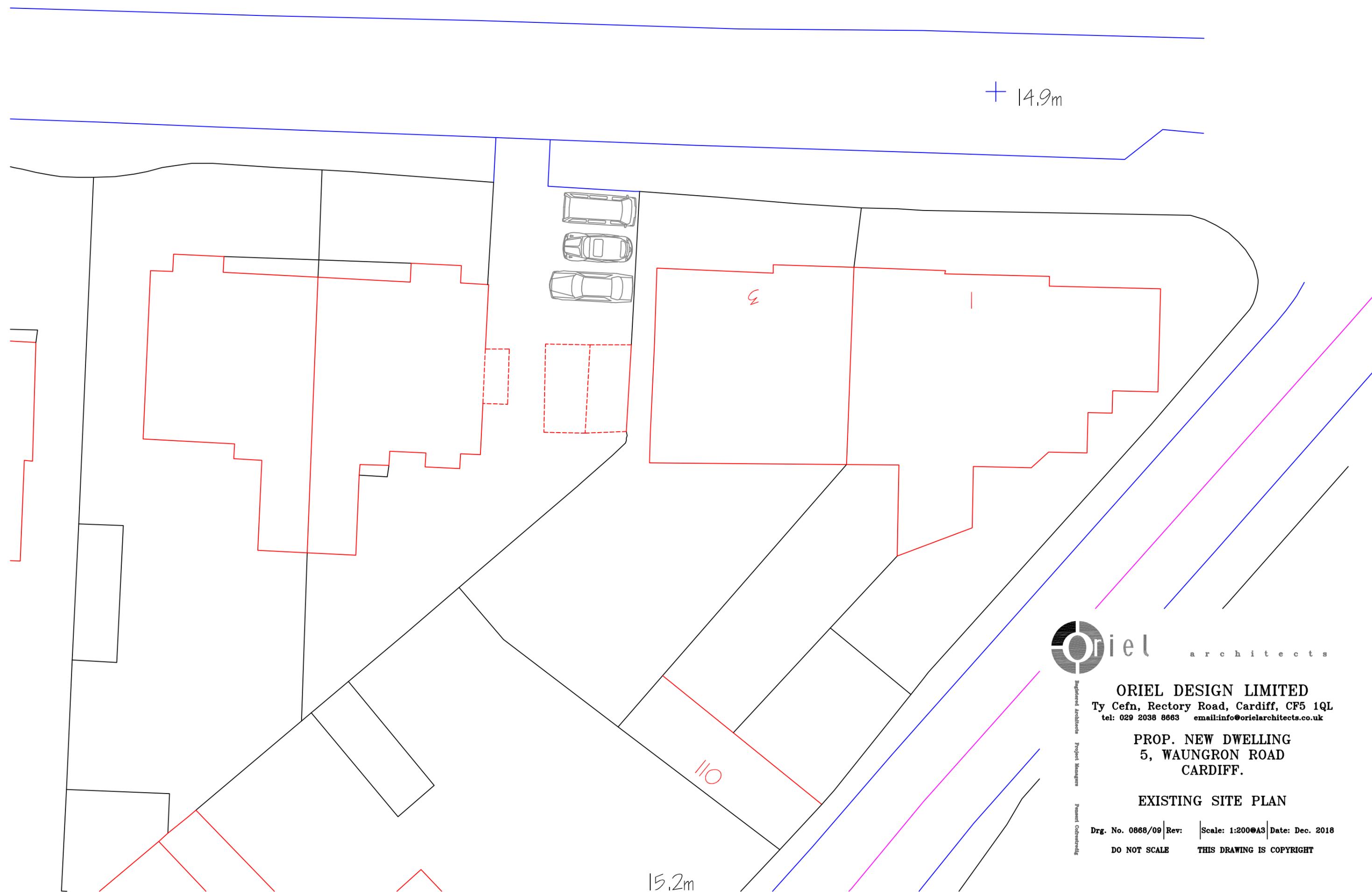






REVISIONS
Rev:

+ 14.9m



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**PROP. NEW DWELLING
5, WAUNGRON ROAD
CARDIFF.**

EXISTING SITE PLAN

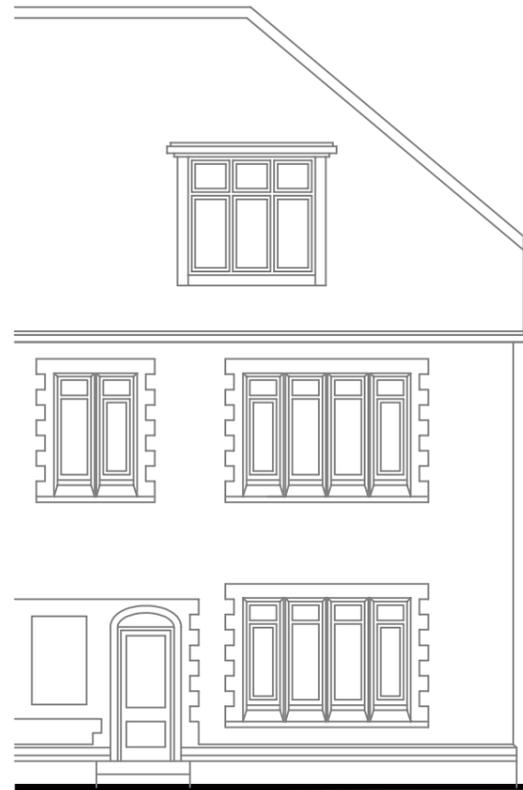
Drg. No. 0868/09 | Rev: | Scale: 1:200@A3 | Date: Dec. 2018
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Existing main dwelling roof finished in red clay tiles with red vee shaped ridge tiles, Verge, eaves and soffits finished in white painted timberwork with white half round gutters and downpipes.

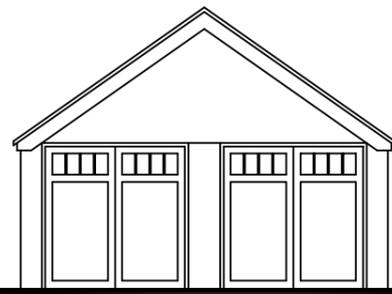
Dormer roof white painted timberwork with black painted eaves board and flat roof. Side facing windows white UPVC units with side hung opening lights.

Existing elevations finished in random course stonework, dressed stone window surrounds, red clay facing brickwork corner features, red clay tile hanging and white painted rough cast render.

Existing windows and doors grey painted timber units with top and side hung opening lights.



3 Waungron Road



Double Garage



5 Waungron Road

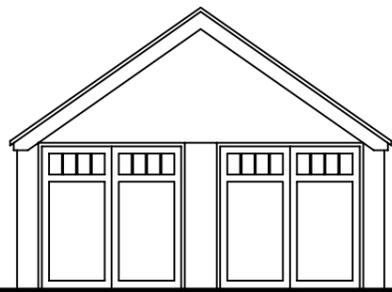
7 Waungron Road

Waungron Road Street View

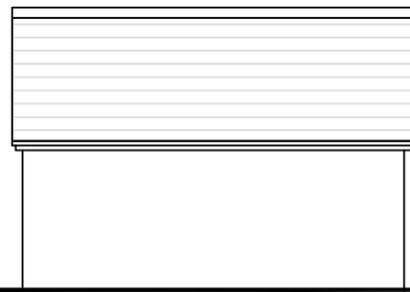
Existing detached double garage finished in red clay tile roofing with grey painted timber fascias, soffits and eaves boards.

Existing walls white painted rough cast render.

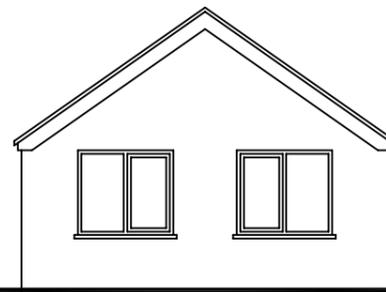
Windows and doors grey painted timber.



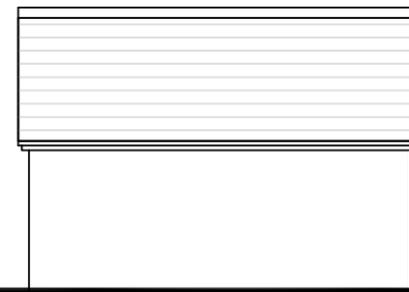
Front Elevation



Side Elevation 1



Rear Elevation



Side Elevation 2

Existing Double Garage Elevations.



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PROP. NEW DWELLING
5, WAUNGRON ROAD
CARDIFF.

EXISTING STREET VIEW

Drg. No. 0868/14 | Rev: A | Scale: 1:100@A3 | Date: Dec. 2018

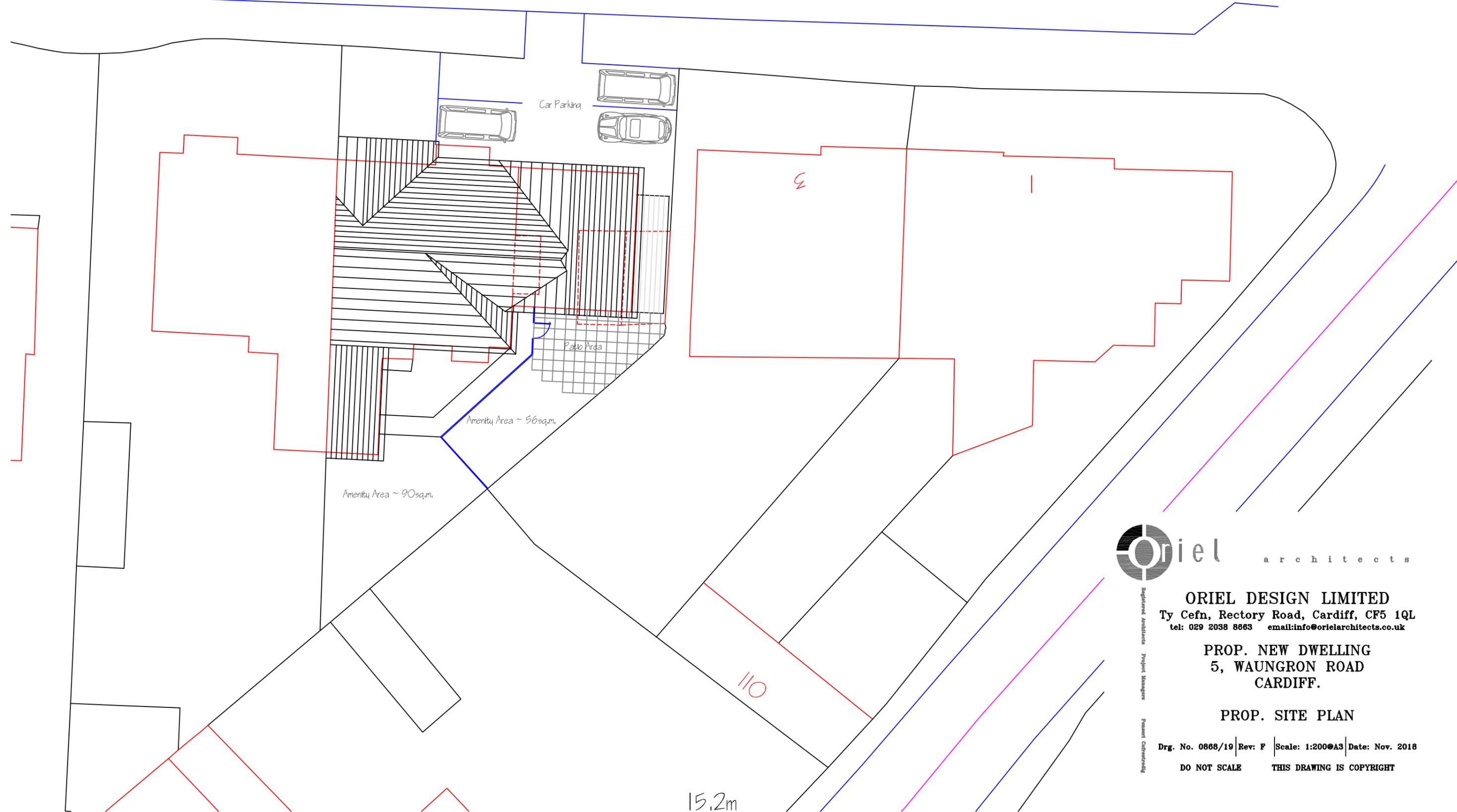
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Registered Architects Project Managers

REVISIONS

- Rev: A 16/12 Parking layout
- Rev: B 02/05 New Layout
- Rev: C 17/05 New arrangement
- Rev: D 23/06 Amenity Area
- Rev: E 29/06 Updated for Planning
- Rev: F 28/08 New building form

+ 14.9m



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PROP. NEW DWELLING
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PROP. SITE PLAN

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15.2m

REVISIONS

Rev: A 02/05 New Layout
Rev: B 17/05 New arrangement
Rev: C 23/06 Wall finishes
Rev: D 29/06 Updated for Planning
Rev: E 28/08 New Building form

Extension roof to match existing main dwelling and be finished in red clay tiles with red terracotta ridge tiles. Abutment between new and existing roofs to include Code 4 valley gutters. Eaves boards and soffits to be white UPVC units and rainwater goods to be white half round units.

New extension elevations to match existing and comprise; random course stonework, dressed stone window surrounds, red clay facing brickwork corner features, red clay tile hanging and white painted rough cast render.



3 Waungron Road

New Dwelling

5 Waungron Road

7 Waungron Road

Waungron Road Street View

New windows and doors to comprise; grey polyester powder coated aluminium double glazed units with top and side hung opening lights and suitable for severely exposed location. Self finished centre pivot Velux rooflights to be fitted with new roof level accommodation.

Access to existing side elevation flat doors, to be via new open passageway - gated at either end.



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PROP. NEW DWELLING
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CARDIFF.

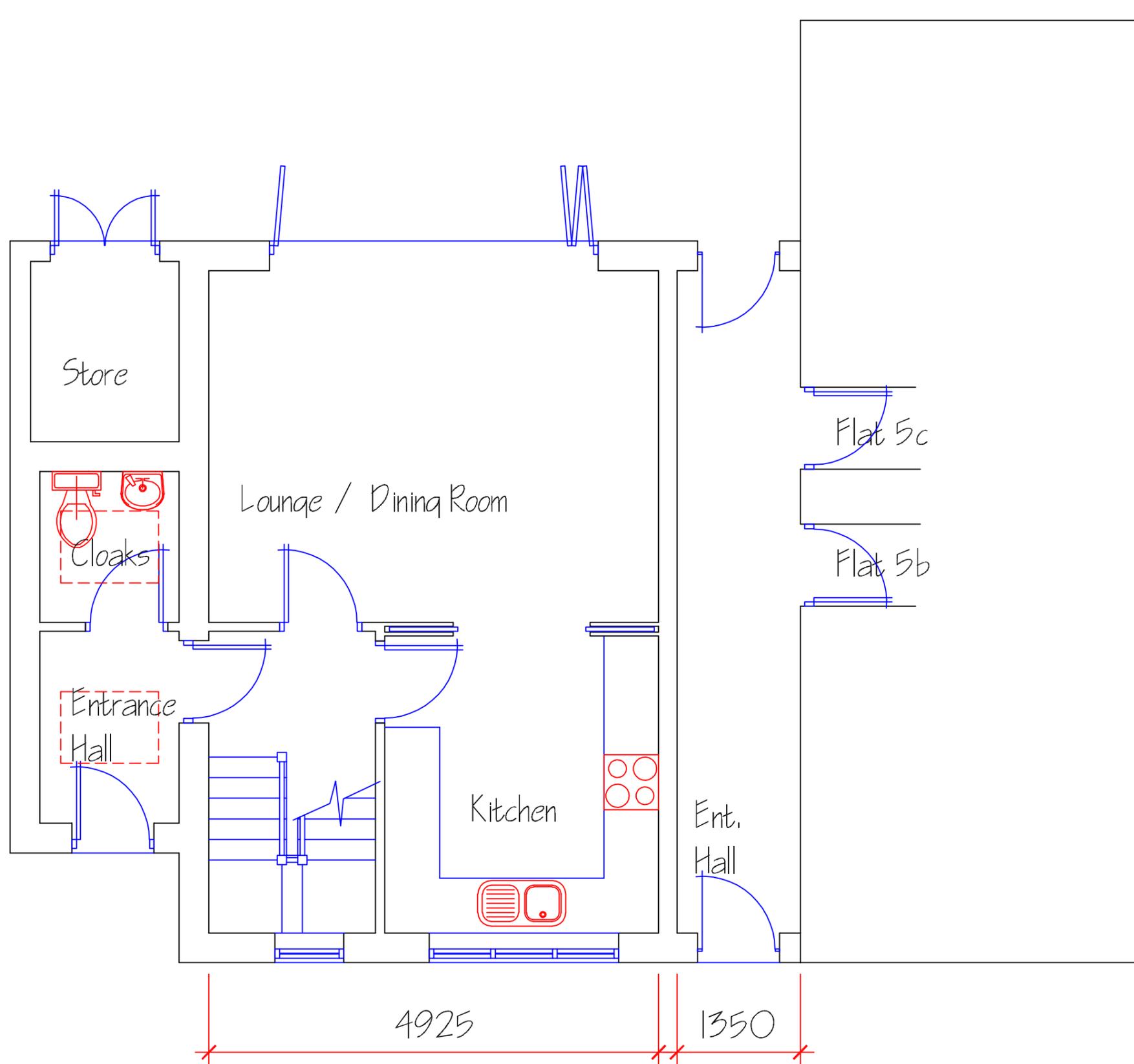
PROPOSED STREET VIEW

Drg. No. 0868/24 | Rev: E | Scale: 1:100@A3 | Date: Dec. 2018

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REVISIONS

- Rev: A 16/12 Window pattern
- Rev: B 02/05 New Layout
- Rev: C 17/05 New arrangement
- Rev: D 28/08 New building form



Floor Areas:
GFL - 47.7sq.m. + 9.8sq.m.
FFL - 46.9sq.m.
SFL - 44.5sq.m.

Total - 148.9sq.m.

Flat 5c

Flat 5b

Ent. Hall

4925

1350



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PROP. NEW DWELLING
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CARDIFF.

PROP. GFL PLAN

Reg. Architect
Project Manager
Resident Coordinator

Dr. No. 0868/20 | Rev: D | Scale: 1:50@A3 | Date: Nov. 2018

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REVISIONS

Rev: A 16/12 Window pattern
Rev: B 02/05 New Layout
Rev: C 17/05 New arrangement
Rev: D 03/06 Notes added
Rev: E 23/06 Wall finishes
Rev: F 29/06 Updated for Planning
Rev: G 28/08 New building form

Roof arrangement to include formation of openings for Velux
centre pivot opening rooflights.
Rainwater goods to be white UPVC half round sections.

Side and rear elevation external walls to comprise white painted
render to ground and first floor level areas.



Prop Side Elevation



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PROP. NEW DWELLING
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CARDIFF.

PROP. EAST ELEVATION

Drg. No. 0868/26 | Rev: G | Scale: 1:50@A3 | Date: Nov. 2018

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Extension roof to match existing main dwelling and be finished in red clay tiles with red terracotta ridge tiles. Abutment between new and existing roofs to include Code 4 valley gutters. Eaves boards and soffits to be white UPVC units and rainwater goods to be white half round units.



Rear Elevation

New extension rear and side elevations to match existing and comprise; white painted rough cast render with reconstituted stone surrounds as shown.

New windows and doors to comprise; grey polyester powder coated aluminium double glazed units with top and side hung opening lights and suitable for severely exposed location. Self finished centre pivot Velux rooflights to be fitted with new roof level accommodation.



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PROP. NEW DWELLING
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CARDIFF.

PROPOSED GARDEN ELEVATION.

Drg. No. 0868/29 | Rev: A | Scale: 1:100@A3 | Date: June 2019

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Registered Architects Project Managers
Resident Architects