

LOCAL MEMBER OBJECTION & PETITION

COMMITTEE DATE: 17/07/2019

APPLICATION No. **19/00598/MNR** APPLICATION DATE: 14/03/2019

ED: **CYNCOED**

APP: TYPE: Outline Planning Permission

APPLICANT: Mahsa Ltd

LOCATION: CYNCOED CONSULTING ROOMS, 277 CYNCOED ROAD,
CYNCOED, CARDIFF, CF23 6PA

PROPOSAL: THE DEMOLITION OF THE EXISTING BUILDING AND
ERECTION OF 4 NEW APARTMENTS

RECOMMENDATION 1: That, outline planning permission be **GRANTED** subject to the following conditions:

1.
 - A. Approval of the details of appearance of the building to be erected and the landscaping of the site (hereinafter called "the reserved matters") shall be obtained from the Local Planning Authority in writing before any development is commenced.
 - B. Plans and particulars of the reserved matters referred to in condition 1A above, relating to the appearance of the buildings to be erected and the landscaping of the site, shall be submitted in writing to the Local Planning Authority and shall be carried out as approved.
 - C. Application for approval of the reserved matters shall be made to the Local Planning Authority before the expiration of three years from the date of this permission.
 - D. The development hereby permitted shall be begun either before the expiration of five years from the date of this permission or before the expiration of two years from the date of the last of the reserved matters to be approved, whichever is the later.

Reasons:

 - A. In accordance with the provisions of Article (3)1 of the Town and Country (Development Management Procedure) (Wales) Order 2012
 - B, C and D. In accordance with the provisions of Section 92 of the Town and Country Planning Act 1990.
2. The development hereby permitted shall be carried out in accordance with the following approved plans:
 - Drawing ref.1912_01
 - Location Plan, Drawing ref.1912_05 Rev A (in respect of layout and access)
 - Drawing ref.1912_08A (in respect of scale)
 - Drawing ref.1912_06A (in respect of layout and access)

- Tree Survey from Treescene Ltd dated 2nd April, 2019
- Arboricultural Impact Assessment/Draft Tree Protection Plan
- Bat Survey Report from Sylvan Ecology dated 26th March, 2019

Reason: To ensure satisfactory completion of the development and in line with the aims of Planning Policy Wales to promote an efficient and effective planning system.

3. Notwithstanding the submitted plans, details of the provision of cycle parking spaces shall be provided prior to the development being brought into beneficial use and thereafter the cycle parking spaces shall be retained and shall not be used for any purpose other than the parking of vehicles.

Reason: To ensure that adequate provision is made for the sheltered and secure parking of cycles in accordance with Policy T5: Managing Transport Impacts of the Cardiff Local Development Plan.

4. Notwithstanding the submitted plans, details of refuse storage facilities shall be submitted to and approved by the Local Planning Authority. The facilities shall be provided prior to the development being brought into beneficial use and retained thereafter.

Reason: In the interests of visual and residential amenity, in accordance with Policy KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan.

5. Notwithstanding the submitted information, further details of the means of site enclosure shall be submitted to and approved by the Local Planning Authority. The means of site enclosure shall be constructed in accordance with the approved details prior to the development being put into beneficial use.

Reason: In the interests of visual and residential amenity, in accordance with Policy KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan.

6. No development shall take place until the following have been submitted to and approved in writing by the Local Planning Authority (LPA) in accordance with the current British Standard 5837:

- An Arboricultural Method Statement (AMS) detailing the methods to be used to prevent loss of or damage to retained 'B' category oak tree at the rear of the site, and existing structural planting or areas designated for new structural planting.

The AMS shall include details of site monitoring of tree protection and tree condition by a qualified arboriculturist, undertaken throughout the development and after its completion, to monitor tree condition. This shall include the preparation of a chronological programme for site monitoring and production of site reports, to be sent to the LPA during the different phases of development and demonstrating how the approved tree protection measures have been complied with.

•A Tree Protection Plan (TPP) in the form of a scale drawing showing the finalised layout and the tree and landscaping protection methods detailed in the AMS that can be shown graphically.

Unless written consent is obtained from the LPA, the development shall be carried out in full conformity with the approved AMS and TPP.

Reason: To enable the Local Planning Authority to assess the effects of the proposals on existing trees and landscape; the measures for their protection; to monitor compliance and to make good losses in accordance with Policy EN8: Trees, Woodlands and Hedgerows of the Cardiff Local Development Plan.

7. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it shall be reported in writing within 2 days to the Local Planning Authority, all associated works shall stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment shall be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the Local Planning Authority within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors, in accordance with Policy EN13: Air, Noise, Light Pollution and Land Contamination of the Cardiff Local Development Plan.

8. Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes. Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced, in accordance with Policy EN13: Air, Noise, Light Pollution and Land

Contamination of the Cardiff Local Development Plan.

9. Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes. Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.
Reason: To ensure that the safety of future occupiers is not prejudiced, in accordance with Policy EN13: Air, Noise, Light Pollution and Land Contamination of the Cardiff Local Development Plan.
10. Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.
Reason: To ensure that the safety of future occupiers is not prejudiced, in accordance with Policy EN13: Air, Noise, Light Pollution and Land Contamination of the Cardiff Local Development Plan.
11. Prior to the erection of the flats hereby approved, a scheme for the drainage of the site and any connection to the existing drainage system shall be submitted to and approved in writing to the Local Planning Authority. Prior to the submission of the drainage details, ground permeability tests shall be undertaken to ascertain whether sustainable drainage techniques can be utilised and the results of the tests shall be incorporated in the submitted scheme. No part of the development shall be occupied until the scheme is carried out and completed as approved.
Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment and in accordance with Policy EN10: Water Sensitive Design of the Cardiff Local Development Plan.
12. The details submitted in pursuance of condition 1 (appearance) shall have particular regard to the preservation of the amenities and privacy of the occupiers of the adjoining properties.
Reason: To ensure that the living conditions of adjoining occupiers is protected in
Reason: To ensure that the privacy of adjoining occupiers is protected in accordance with Policy KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan.

13. The shared amenity area shown on the approved plans shall be provided before the development hereby permitted is occupied and thereafter the amenity areas shall be retained for the benefit of existing and future occupiers of the site.
Reason: To provide adequate amenity space for future residents of the development in accordance with Policy KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan.
14. The car parking spaces and manoeuvring areas shown on the approved plans shall be provided prior to the development being brought into beneficial use and thereafter shall be maintained and shall not be used for any purpose other than the parking and manoeuvring of vehicles.
Reason : To ensure that the use of the proposed development does not interfere with the safety and free flow of traffic passing along the highway, in accordance with Policy T5: Managing Transport Impacts of the Cardiff Local Development Plan.
15. Prior to the commencement of development, further details of the proposed crossover junction between the proposed access and the highway together with the revised existing crossover, shall be submitted to and approved in writing by the Local Planning Authority. The details shall show the footway being dropped across the accesses. The approved details shall be implemented prior to the development being put into beneficial use.
Reason: To ensure that the use of the proposed development provides adequate pedestrian access in accordance with Policy T5: Managing Transport Impacts of the Cardiff Local Development Plan.

RECOMMENDATION 2: To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

RECOMMENDATION 3: The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints and;
- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates / soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under section 33

of the environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site:

- Unprocessed / unsorted demolition wastes.
- Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
- Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and

(iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 4 : The applicant is advised to contact highways@cardiff.gov.uk prior to undertaking the works associated with the access in order to obtain the necessary licence.

RECOMMENDATION 5 : The applicant is advised that developers of all new residential units are required to purchase the bin provision required for each unit. The bins have to meet the Council's specifications and can be purchased directly by contacting the Waste Management's commercial team on 029 20717500.

RECOMMENDATION 6 : On the 7th January 2019, Schedule 3 of the Flood and Water Management Act 2010 was enacted. This effects all new developments where the construction area is of 100m² or more. Cardiff Council is aware that your application for planning permission was validated after the recent legislative change in which Schedule 3 of the Flood and Water Management Act was enacted and therefore may be subject to surface water drainage proposals under the SAB application process.

It is recommended that the developer engages in consultation with the Cardiff Council SAB team, as the determining SuDS Approval Body (SAB), in relation to their proposals for SuDS features. Cardiff Council are aware that this is new legislation and as such is offering a free pre-application service for the first year. To arrange discussion regarding this please contact SAB@cardiff.gov.uk

If you require further information please review: <https://www.cardiff.gov.uk/ENG/resident/planning-and-suds/suds-approval-body/>

Or, alternatively you can review the legislation set by Welsh Government here: <https://gweddill.gov.wales/topics/environmentcountryside/epq/flooding/drainage/>

RECOMMENDATION 7: The Council's Ecologist has advised that a bat box or bat access point should be integrated into the new building, with the model and location of the bat box to be advised by the applicants' ecologist. This would accord with the recommendation in Section 5.3 of the Bat Survey Report from Sylvan Ecology dated 26th March, 2019.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 This planning application relates to the former Cyncoed Consulting Rooms at 277 Cyncoed Road which have recently relocated to the Cyncoed Medical Centre at Dartington Drive, Pontprennau. The vacant premises comprises a single storey former dwelling which was converted to medical use following the grant of planning permission in 1995.
- 1.2 As initially submitted, planning permission was sought to demolish the existing structure and redevelop the site with a building containing 6no.flats consisting of 5no.two bedroom flats and 1no.one bedroom flat. Following discussions with the agent, the scheme has been revised with a view to achieving a more acceptable form of development on the site. The amended scheme reduces the proposed development to 4no.two bedroom flats occupying a building with a smaller footprint. The application is made in outline with layout, means of access and scale to be considered at this time. The appearance of the building and landscaping are reserved for future approval.
- 1.3 The submitted layout plan shows a building sited approximately 11.5 metres from the back edge of footway, approximately 2.0 metres from the boundary with nos.279/279A Cyncoed Road to the north and approximately 1.2 metres from the boundary with 275A Cyncoed Road to the south. Its rear elevation is shown to project approximately 1.5 metres beyond the rear elevation of nos.279/279A and approximately 4.8 metres beyond the rear elevation of 275A Cyncoed Road. Amended plans have reduced the footprint of the building at the rear, permitting an increased separation distance between the proposed structure and the boundaries with these neighbouring properties.
- 1.4 Although the appearance of the building is a reserved matter, the submitted plans show a traditionally designed, hipped roof structure with two gable elements projecting from the front roof plane. The principal accommodation is provided over two floors with a second floor contained in the roof space. As the appearance of the building remains a reserved matter, the detailed design of the structure and the arrangement of window openings shown on the submitted floor plan drawings should be considered indicative at this time.
- 1.5 There is a gentle rise from south to north along this part of Cyncoed Road with no.275A occupying lower ground level than no.277 and nos.279/279A occupying a higher ground level. The proposed building has a revised ridge height of approximately 7.8 metres and an eaves height of approximately 4.5

metre next to the boundary with nos.279/279A. The 'street scene' drawing shows the ridge height of the proposed block approximately 1.5 metre lower than the ridge of nos.279/279A and approximately 2.5 metres higher than the ridge of no.275A.

- 1.6 The application site adjoins the rear gardens of nos. 32 and 34 Bryn-Gwyn Road to the west. The proposed building is shown to be sited approximately 11.4 metres from this boundary at ground floor level and approximately 12.6 metres at first floor level.
- 1.7 Four off street parking spaces are proposed in the front forecourt. A new crossover access is proposed which together with the retained existing access will create an 'in-out' arrangement. The access and parking proposals would necessitate the removal of a length of boundary hedge and a Eucalyptus tree sited near the boundary with nos.279/279A.
- 1.8 The site is partially enclosed along Cyncoed Road by a hedge/bank. There are other hedges along the boundaries with the neighbouring properties. The retained amenity area measures approximately 160 sq. metres. The existing garage at the rear of the site is proposed to be retained as a cycle/bin store.
- 1.9 The application is supported by a tree survey and preliminary bat roost survey. It is proposed to remove a number of trees either to facilitate the development or due to poor quality. Amended plans have reduced the width of the building permitting the retention of sections of laurel hedging along the side boundaries of the site .The submitted plans shows the retention of a mature B category Oak in the rear garden and the hedge at the rear of the site.
- 1.10 The bat report concludes that the demolition of the building is unlikely to result in any impacts on bats and that an EPS Licence will not be required. The report recommends that a bat box should be incorporated into the new building.

2. **DESCRIPTION OF SITE**

- 2.1 No.277 Cyncoed Road comprises the former Cyncoed Consulting Rooms which has relocated to the Cyncoed Medical Centre at Dartington Drive, Pontprennau. The vacant premises consists of a single storey, hipped roof former dwelling which was converted to medical use following the grant of planning permission in 1995.
- 2.2 To the north, the site adjoins the driveway of nos.279/279A Cyncoed Road; a two storey semi-detached building containing 2no.flats. This neighbouring property contains several ground and first floor windows in its side elevation facing towards the application site. To the south, the site adjoins no. 275A Cyncoed Road; an infill single storey dwelling located close to the boundary. This property contains a single window in its side elevation facing towards the application site which is partially screened by boundary fencing.
- 2.3 There is a crossover access to the site next to the boundary with no. 275A with a driveway running along this southern boundary leading to a garage

building at the rear. The site is partially enclosed along Cyncoed Road by a hedge/bank. There are other hedges along the boundaries with the neighbouring properties and the site also contains a number of (unprotected) trees.

- 2.4 The site is located a short distance from a neighbourhood centre which contains a number of retail and other community facilities.

3. **SITE HISTORY**

- 3.1 95/01007/N: Change of use from residential use to an annexe of the doctor's surgery at 350 Cyncoed Road. Approved 19/10/95.
- 3.2 96/00335/N: Alterations and refurbishment to convert existing dwelling into clinic. Approved 10/04/96.
- 3.3 00/02238/N: Doctor's meeting room. Approved 19/01/01.

4. **POLICY FRAMEWORK**

- 4.1 The Cardiff Local Development Plan 2006-2026 provides the local planning policy framework. Relevant policies include:

KP5: Good Quality and Sustainable Design
KP8: Sustainable Transport
KP 15: Climate Change
EN11: Water Sensitive Design
EN13: Air, Noise, Light Pollution and Land Contamination
T5: Managing Transport Impacts
EN7: Priority Habitats and Species
EN8: Trees, Woodlands and Hedgerows
H6: Change of Use or Redevelopment to Residential Use
C2: Protection of Existing Community Facilities.

- 4.2 Supplementary Planning Guidance: Cardiff Infill Sites (November, 2017)
Supplementary Planning Guidance Transport Impacts (Incorporating Parking Standards) (2018)
Supplementary Planning Guidance: Cardiff Residential Design Guide (2017)
Supplementary Planning Guidance: Waste and Collection and Storage Facilities (2016)
Supplementary Planning Guidance: Green Infrastructure (November, 2017).

- 4.3 Planning Policy Wales Edition 10 (2018):

1.17 Legislation secures a presumption in favour of sustainable development in accordance with the development plan unless material considerations indicate otherwise to ensure that social, economic, cultural and environmental issues are balanced and integrated.

2.8 Planning policies, proposals and decisions must seek to promote sustainable development and support the well-being of people and communities across Wales.

3.6 Development proposals must address the issues of inclusivity and accessibility for all.

3.7 Developments should seek to maximise energy efficiency and the efficient use of other resources (including land), maximise sustainable movement, minimise the use of non-renewable resources, encourage decarbonisation and prevent the generation of waste and pollution.

3.9 The layout, form, scale and visual appearance of a proposed development and its relationship to its surroundings are important planning considerations.

3.11 Local authorities are under a legal obligation to consider the need to prevent and reduce crime and disorder in all decisions that they take.

3.12 Good design is about avoiding the creation of car-based developments. It contributes to minimising the need to travel and reliance on the car, whilst maximising opportunities for people to make sustainable and healthy travel choices for their daily journeys.

4.1.34 New development must provide appropriate levels of secure, integrated, convenient and accessible cycle parking and changing facilities.

4.1.52 Planning authorities must require good standards of car parking design, which do not allow vehicles to dominate the street or inconvenience people walking and cycling. Car parking should be overlooked by surrounding properties, to provide natural surveillance.

4.1.53 Parking standards should be applied flexibly and allow for the provision of lower levels of parking and the creation of high quality places.

4.2.22 Planning authorities will need to ensure that in development plans and through the development management process they make the most efficient use of land and buildings in their areas. Higher densities must be encouraged on sites in town centres and other sites which have good walking, cycling and public transport links.

4.2.23 Infill and windfall sites can make a useful contribution to the delivery of housing. Proposals for housing on infill and windfall sites within settlements should be supported where they accord with the national sustainable placemaking outcomes.

6.4.22 The presence of a species protected under European or UK legislation, or under Section 7 of the Environment (Wales) Act 2016 is a material consideration when a planning authority is considering a development proposal which, if carried out, would be likely to result in disturbance or harm to the species or its habitat and to ensure that the range and population of the species is sustained. Planning authorities should advise anyone submitting a planning application that they must conform with any statutory species protection provisions affecting the site, and potentially the surrounding area, concerned.

6.4.25 Planning authorities should protect trees, hedgerows, groups of trees and areas of woodland where they have ecological value, contribute to the character or amenity of a particular locality, or perform a beneficial and identified green infrastructure function.

6.6.27 Planning authorities should be aware of the risk of surface water flooding and ensure developments are designed and planned to minimise potential impacts. Development should not cause additional run-off, which can

be achieved by controlling surface water as near to the source as possible by the use of SuDS.

5. **INTERNAL CONSULTEE RESPONSES**

5.1 The Operational Manager, Transportation has raised no objections to the application on parking or highway safety ground subject to appropriate conditions. The provision of 4no.off street parking is considered to comply with the Council's Supplementary Planning Guidance Transport Impacts (Incorporating Parking Standards).

5.2 Pollution Control (Contaminated Land):

Shared Regulatory Services requests conditions and informative statements in accordance with CIEH best practice and to ensure that the safety of future occupiers is not prejudiced in accordance with policy EN 13 of the Cardiff Local Development Plan.

5.4 The Operational Manager, Drainage Management has been consulted on the application. No representations have been received.

5.5 The Operational Manager, Waste Management advises that the proposed bin storage area is acceptable. The Officer advises that each apartment will require the following for recycling and waste collections:

1 x 140 litre bin for general waste

1 x 25 litre kerbside caddy for food waste

Green bags for mixed recycling (equivalent to 140 litres)

5.6 The Housing Development Officer initially advised that in accordance with Local Development Plan Policy H3: Affordable Housing, an affordable housing contribution of 20% of the 6 units (1 unit) should be sought on the site. However, following the reduction the number of flats from 6 to 4 and having regard to the size of the site, Policy H3 is no longer applicable.

5.7 The Council's Ecologist, having considered the submitted bat survey report, notes that no bats or signs of bats were found. He notes that there is some (low) bat roost potential in the roof as evidenced by gaps allowing light ingress into the roof void in some places. The Officer supports the recommendation in Section 5.3 of the report that a bat box should be incorporated into the new build, partly as compensation for the loss of potential roosting space, and partly as enhancement to biodiversity. He advises that this can be achieved by attaching a recommendation to any consent granted, to the effect that one bat box or bat access point should be integrated into the new building, with the model and location of the bat box advised by the applicants' ecologist.

5.8 The Tree Officer comments that the only significant tree is the 'B' category oak at the rear which he advises should be tree should be protected in accordance with a finalised Tree Protection Plan and Arboricultural Method Statement that aligns with approved layout plans.

6. **EXTERNAL CONSULTEE RESPONSES**

6.1 Welsh Water/Dwr Cymru advises as follows (summary);

The application was validated after the recent legislative change in which Schedule 3 of the Flood and Water Management Act was enacted and therefore all drainage proposals which intend to communicate to the public sewer or have drainage implications are assessed under the SAB application process.

We have reviewed the information submitted as part of this application and note that the intention is to drain foul water to the public sewer to which we offer no objection in principle. It is unclear as to how the site will capture and dispose of surface water. We recommend that sustainable drainage systems are explored and further discussions held with the SAB.

Our records indicate that the proposed site is crossed by a public sewer. Under the Water Industry Act 1991, Dwr Cymru Welsh Water has rights of access to its apparatus at all times. The required protection zone of 3 meters either side of the centre line of the sewer may impact upon new build dwelling and it is recommend that this is given appropriate consideration during the design and determination process.

If the Council is minded to grant planning permission, it is requested that the following condition is included within any subsequent consent.

No building shall be occupied until the drainage system for the site has been completed in accordance with the approved details. Thereafter no further surface water and/or land drainage shall be allowed to connect directly or indirectly with the public sewerage system.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

(Note: W/DC's representations have been forwarded to the agent for his attention).

7. **REPRESENTATIONS**

7.1 Councillor Kelloway, having been contacted by several residents and visited the site wishes to object to the application for the following reasons (summary):

- i) Cyncoed Road is a major thoroughfare and, in the locality of the application site, consists predominantly of traditional family dwellings built in the inter-war years, to the architectural style prevalent at the time. The proposed development would be out of keeping with the scale, form, massing, height and character of this section of Cyncoed Road. The three storey, six (two bedroom) apartment block would form an incongruous element in the local street scene and would be out of keeping with existing buildings.

- ii) The dimensions of the existing bungalow at 277 Cyncoed Road fit well on the site. The proposed development would, from looking at the sketchy plans, be higher, wider and longer than the existing structure. The proposed development, by virtue of its scale and massing, would be an overdevelopment of the site and would have a dominating and overbearing impact upon neighbouring properties, to the detriment of the residential amenity of the occupants of those properties.
- iii) The existing building at 277 Cyncoed Road integrates well into its street setting in so far as it does not impact adversely upon the quiet enjoyment by adjacent residents of their properties. The proposed development would represent a significant departure from this position. The increased width of the proposed building would bring it nearer to the boundaries and, by virtue of its increased height, would accentuate the dominating and overbearing effect of the building upon adjoining residents. The increased height of the structure would also result in loss of light and have a shadowing effect upon neighbours' homes, gardens and outdoor recreation areas.
- iv) The elevations supplied by the applicant indicate that there will be non-obscure windows. There is a likelihood, therefore, that these windows will provide unrestricted views into habitable rooms at numbers 279 and 275 Cyncoed Road. In addition, the plans indicate that balconies will be provided which, by virtue of the proximity of the apartments to the boundaries and the increased height of the building, will provide uninterrupted views into neighbouring properties and gardens and will compromise the privacy of residents living at these properties. The proposals do not meet the minimum required privacy distance of 10.5m in to habitable rooms.
- v) The greater intensification of use at the site of 277 Cyncoed Road by the creation of six households is likely to create an increased demand for off-street parking with the attendant noise and disturbance to nearby residents that will arise. The proposals fail to provide an adequate number of parking spaces for six, two bedroom apartments and is contrary to the Managing Transportation Impacts SPG, July, 2018. The proposed development is also situated next to the busy shops in Cyncoed village where congestion and illegal parking is already an issue. Cyncoed Road is already a busy thoroughfare and, with future developments in North Cardiff, is likely to grow increasingly so. The building of a multi-apartment complex would feed additional vehicles onto Cyncoed Road, next to the busy junction with Sherbourne Avenue and is likely to further compromise road safety in the area.
- vi) The proposed development will leave very little recreational space in the rear and it is also noted that the applicant wishes to remove the existing trees and bushes. There is no indication of replanting and the loss of these plants will further erode the enjoyment of neighbours of their properties, especially in relation to the boundary hedge with 279

Cyncoed Road and the Oak tree at the back of the rear garden that acts as a natural privacy barrier with neighbours on Bryngwyn Road.

- vii) The proposals also offer no proposed location for a bin or cycle store. The addition of these structures is likely to further erode the garden space and also the residential amenity of the neighbours, of their properties, by virtue of the noise and smells these will generate.

In conclusion, the development is likely to be of an un-neighbourly nature which will be detrimental to the amenity of other residents. The Councillor trusts that her comments will be drawn to the attention of the members of the planning committee before they determine the application.

- 7.2 A 92 signature petition of objection from local residents has been submitted.
- 7.3 The occupier of 358 Cyncoed Road considers the proposal to be an overdevelopment of the site stating that the size of the new development is very much bigger than the existing building and its visual effect would be out of character for the area and could lead to similar applications in the future. The occupier states that Cyncoed Road already has parking problems from houses and businesses in the village.
- 7.4 Representations have been submitted on behalf of the elderly occupier of the neighbouring ground floor flat at 279 Cyncoed Road expressing concern that the proposed development would result in a the loss of amenity, particularly in relation to light and privacy. It is noted that the new residential properties granted planning permission in the line of bungalows to the south of the application site at 273 Cyncoed Road have been restricted to rooms in the roof and a ridge height of 6.8 metres. It is queried whether this restriction should be applied to the proposed development.
- 7.5 The occupier of 34 Bryn Gwyn Road objects for the following reasons:
 - i) The scale of the building is too large for the plot and not in keeping with buildings to the south along Cyncoed Road;
 - ii) The proposed building is on ground which is at a higher level than no.34 Bryngwyn Road and which would be overlooked resulting in loss of privacy;
 - iii) There will inevitably be loss of trees to the rear of the site leading to loss of privacy.
- 7.6 The occupiers of 36 Bryn Gwyn Road express the following concerns/observations (summary):
 - i) The proposed development would result in overlooking and loss of privacy of a private garden and living space.
 - ii) Existing trees on the site are enjoyed by all who can see them.
 - iii) Parking is an on-going problem for residents in the area. The proposed parking provision is inadequate.

7.7 The Occupier of 32 Bryn Gwyn objects on the following grounds:

- i) Loss of light;
- ii) Loss of privacy;
- iii) Removal of trees would also be detrimental to neighbours,
- iv) The proposed building would not be in keeping with the height of other buildings along this stretch of Cyncoed Road.

7.8 The occupier of 30 Bryn Gwyn Road objects on the following grounds;

- i) What is being proposed is the demolition of a residential bungalow which has been used as a General Practitioners' consulting rooms and the erection of a three storey building;
- ii) The proposed development will be prejudicial to the residents of Bryn Gwyn Road who would be living within the lines of sight from upper floors;
- ii) The building would be incongruous with the adjacent bungalows to the south;
- iv) The lack of a rear elevation detail makes it difficult to comment in an informed way on the extent to which the properties in Bryn Gwyn Road, including no.30 would be overlooked;
- v) Given the scale of the development, it would be highly improbable that existing trees and hedges will not be affected;

The occupier considers that the application should be rejected and any development restricted to ensure it does not prejudice the privacy, light and greenery currently enjoyed.

7.9 Representations have been submitted on behalf of the occupier of 275A Cyncoed Road objecting to the application for the following reasons (summary):

The application proposals will result in an overdevelopment and over intensification of use of a small site resulting in an unacceptable adverse effect on the amenity of occupiers of neighbouring properties.

The proposal is for a 2.5 storey block of 6 apartments located within 0.5 metres of the boundary with 275a Cyncoed Road. In addition, the proposals extend 4.5m beyond the current rear building line over two storeys and adjacent to the garden seating area of the occupiers' property.

The proposals also appear to show extensive balconies to the front and rear although no rear elevations are provided and the floorplans are sketchy. These would be located within 4.0 metres of the rear garden and look directly over the occupiers' garden and beyond into the rear gardens and properties in Bryn Gwyn Road resulting in loss of privacy.

It is noted that the applicants have submitted a plan identifying the loss of trees and hedgerows from the development site. There is no indication of any replacement planting.

The proposals do not show any waste collection and storage facilities or any secure and sheltered cycle accommodation. These additional structures would further erode the rear garden space and cause noise and disturbance to the occupiers' quiet enjoyment of their property and garden. In addition, it would be necessary for occupiers of the upper storey flats to access such facilities (if provided) by walking past bedroom windows of the properties on the ground floor.

The car parking layout to the front of the property does not meet the minimum space dimensions set out in Manual for Streets and repeated in the Council's SPG Managing Transportation Impacts. There is no segregated route through the carpark for pedestrians. It is acknowledged that car parking standards are set at a maximum, the maximum standard for 2+ bedroom dwellings is 2 spaces per dwelling in the non- central area. The application site is located on a busy road where car parking is restricted and there is an ongoing problem with rogue parking on pavements, single yellow lines and across peoples drives. In this case, because of these ongoing problems in the area, on site car parking should be at the maximum level allowed for in the SPG i.e., 2 spaces for each of the 2 bed properties. This is clearly not achievable in the constraints of the site. It is request that the application be refused on the following grounds:

- i) It is an overdevelopment of a site which fails to respond to local character in its layout, scale, form massing and height and has an undue effect on the amenity of neighbouring properties by reason of the proposals overbearing effect, loss of privacy and noise and disturbance contrary to policy KP5 of the Cardiff LDP.
- ii) The proposals fail to meet the minimum overlooking distance of 10.5 m from habitable room window to garden area of a separate dwelling contrary to paragraph 4.9 of Infill Sites SPG November 2017.
- iii) The proposals fail to provide adequate and appropriate car parking contrary to Managing Transportation Impacts SPG July 2018 and will potentially lead to further rogue car parking in an area where this is already a known problem.
- iv) The proposals fail to provide adequate provision for the storage and collection of waste contrary to Policy W2 of the Cardiff LDP, para 6.1 of the Cardiff Infill Sites SPG November 2017, Waste Collection and Storage Facilities SPG October 2016.
- iv) The proposals fail to provide minimum cycle parking standards contrary to policy T5 of the Cardiff LDP and Managing Transportation Impacts SPG July 2018

7.10 The Occupier of 279A objects on the following grounds:

- i) Loss of light and overshadowing.
- ii) Loss of privacy due to the proposed windows and doors on the side elevation of the proposed property.
- iii) Scale and character of the proposed build is not in keeping with the surrounding properties.
- iv) The proposed layout and density of building design is too vast for the

plot size and would result in loss of trees and hedges that surround the property and adjacent property that are kept in place to help maintain character and privacy.

- v) Noise and disturbance resulting from the movement of the occupiers of the flats.
- vi) Parking is not adequate due to the proposed parking spaces allocated.

7.11 The Occupier of 279 objects on the following grounds:

- i) The proposed development appears contrary to long established policy to retain the scale and character of this part of Cyncoed Road.
- ii) The proposal will require the removal of trees and bushes typical of the arboreal privacy which characterises the area.
- iii) The proposal would look large for the plot size.
- iv) Loss of privacy from windows in the side elevation.
- v) Substantial overshadowing/loss of light
- vi) The proposal will inevitably add to parking difficulties in the road.

7.12 Local Members and neighbouring occupiers have been notified of amended plans. The following additional representations have been received:

7.13 Councillor Kelloway comments as follows in respect of the revised plans:

Whilst I welcome amended plans, I wish to object to the above application on behalf of neighbouring residents, on many of the same grounds:

- *The dimensions of the existing bungalow at 277 Cyncoed Road fit well on the site. The proposed development would be higher, wider and longer than the existing structure. The proposed development, by virtue of its scale and massing, would be an overdevelopment of the site and would have a dominating and overbearing impact upon neighbouring properties, to the detriment of the residential amenity of the occupants of those properties.*
- *The existing building at 277 Cyncoed Road integrates well into its street setting in so far as it does not impact adversely upon the quiet enjoyment by adjacent residents of their properties. The proposed development would represent a departure from this position. The increased width of the proposed building would bring it nearer to the boundaries and, by virtue of its increased height, would accentuate the dominating and overbearing effect of the building upon adjoining residents. The increased height of the structure would result in loss of light and have a shadowing effect upon neighbours' homes, gardens and outdoor recreation areas. 275A Cyncoed Road will greatly suffer as a result of this development as the property is a bungalow at a lower gradient than the proposed development.*
- *The greater intensification of use at the site of 277 Cyncoed Road by the creation of four households is likely to create an increased demand for off-street parking with the attendant noise and disturbance to nearby residents that will arise. The proposals fail to provide an adequate number of parking spaces for four, two bedroom apartments as the proposed development is situated next to the busy shops in Cyncoed village where congestion and illegal parking is already an issue. Cyncoed Road is a busy*

thoroughfare and, with future developments in North Cardiff, is likely to grow increasingly so. The building of a multi-apartment complex would feed additional vehicles onto Cyncoed Road, next to the busy junction with Sherbourne Avenue and is likely to further compromise road safety in the area.

- There is no indication of a proposed location for a bin or cycle store. The addition of these structures is likely to further erode the garden space and also the residential amenity of the neighbours, of their properties, by virtue of the noise and smells these will generate.*
- There is no mention of removal of shrubs and trees. I appreciate that the amended plans have included the presence of the Oak Tree at the rear of the property as neighbouring residents are passionately against its removal. Therefore, by virtue of the observations noted above, the development is likely to be of an un-neighbourly nature which will be detrimental to the amenity of other residents. I would also like to request a site visit.*

7.14 The occupier of 275 Cyncoed Road objects to the application for the following reasons (summary):

The proposed development represents both an overdevelopment and inappropriate development of the site in terms of the size of the building and the number of dwellings and likely number of occupants.

Most households have more than one car and a development of 4 apartments is likely to lead to a significant increase in on-road parking, in a place which is already heavily parked due to the proximity of local shops.

The increase in bins on the road side when there are collections would be significant and inappropriate.

The proposed building is also too large and out of character with the buildings around it. It would dominate and overshadow the dwellings on either side.

The front and rear elevation drawings fail to show any windows for the upper floor of the building. Side elevation drawings have not been provided but presumably would show the third storey windows that would overlook neighbouring dwellings.

7.15 Further representations have been submitted on behalf of the occupier of 275A Cyncoed Road. Whilst noting that the amended proposals are an improvement, the occupier objects for the following reasons (summary):

An overdevelopment and over intensification of use of a small site resulting in an unacceptable adverse effect on the amenity of occupiers of neighbouring properties.

The proposals extend 4.5 m beyond the rear building line over 2 storeys resulting in an overbearing impact on the garden and seating area of no.275A.

Waste storage facilities and sheltered cycle accommodation would presumably have to be located to the rear of the property and would further erode the rear

garden space and cause noise and disturbance. In addition, it would be necessary for occupiers of the upper storey flats to access such facilities (if provided) by walking past bedroom windows of the properties on the ground floor.

The application site is located on a busy road where car parking is restricted and there is an ongoing problem with rogue parking on pavements and across people's drives. In the area, on site car parking should be at the maximum level allowed for in the SPG i.e. 2 spaces for each of the 2 bed properties.

7.16 The occupier of 358 Cyncoed Road comments that her original objections still apply.

7.17 The occupiers of 36 Bryngwyn Road object to the amended plans stating that their previous concerns remain:

The scale of the building is too large for the plot and would result in loss of privacy.

Loss of established trees.

Insufficient parking provision adding to an ongoing problem for local residents.

7.18 The occupier of 34 Bryngwyn Road objects to the application for the following reasons:

The scale of the building is still too large for the plot and not in keeping with buildings to the south along Cyncoed Road;

The proposed building is on ground which is at a higher level than no.34 Bryngwyn Road and which would be overlooked resulting in loss of privacy;

There will inevitably be loss of trees to the rear of the site leading to loss of privacy.

Parking arrangements for the proposed flats remain inadequate and will lead to more parking congestion on Cyncoed Road and overspill into adjacent streets.

7.19 The occupiers of 275A Cyncoed Road consider the amended proposals still constitute an overdevelopment and over-intensification of the site resulting in an unacceptable adverse effect on their privacy and the occupiers of neighbouring properties. The occupiers consider that the lack of on-street parking has not been addressed and that the proposed bin/cycle store and car parking arrangement would cause amenity issues.

In summary, they ask that the application be refused on the grounds that it is a massive overdevelopment, it does not provide the necessary car parking requirements and would result in a lack of privacy to the occupiers of the ground floor apartments.

7.20 The occupier of 279 Cyncoed Road objects to the amended plans for the following reasons (summary):

i) The scale of the proposed development looks large for the plot size and looks to be an overdevelopment for a small site with close by neighbouring properties.

ii) The proposed development of four apartments would result in a substantial overshadowing and loss of light as well as a loss of privacy.

iii) There are already huge issues with parking and congestion around the Cyncoed Village area and the proposed development does not provide adequate car parking spaces for the potential number of people who could occupy the proposed apartments.

iv) It does not appear from the plans that any cycle, general and garden waste storage facilities have been provided. If not the bins are placed at the front of the property this is likely to hinder the tightly planned car parking spaces at the front of the building.

v) The loss of trees and bushes planned for the development is not in keeping with the arboreal privacy which characterises the area and leads to a considerable loss of privacy for nearby neighbours.

7.21 The occupier of 4 Heol y Cadno, Thornhill objects to the application stating that as a regular visitor to the area she has noticed a severe increase in congestion and rogue parking within Cyncoed Village. The occupier considers that the introduction of four new apartments will have a negative effect upon the local residents. She also comments that the development appears out of character for the area as well impacting the privacy for nearby residents.

7.22 The occupier of 279A Cyncoed Road states that the previous objections submitted to the proposed development remain.

7.23 The daughter of the occupier of the adjacent ground floor flat objects on the following grounds :

- (i) loss of light;
- (ii) increased flow of cars / parking issues;
- (iii) increased noise;
- (iv) out of keeping with neighbouring properties.

7.24 The occupier of 30 Bryn Gwyn Road notes the reduction in the footprint of the proposed development but re-affirms his previous objections. In summary, he requests that the application is refused and that any development on the site is restricted to ensure that it does not prejudice the privacy, light and greenery currently enjoyed by residents of Bryn Gwyn Road and Cyncoed Road; increase the on-street parking in Cyncoed Village; or set a precedent which will fundamentally alter the nature and character of the properties which comprise Cyncoed Village.

8. **ANALYSIS**

8.1 This planning application relates to the former Cyncoed Consulting Rooms at 277 Cyncoed Road which have relocated to the Cyncoed Medical Centre at Dartington Drive, Pontprennau. The vacant premises comprises a single storey former dwelling which was converted to medical use following the grant of planning permission in 1995. The current planning application seeks to

demolish the existing structure and redevelop the site.

- 8.2 As initially submitted, the application proposed a building containing 6no.flats. However, following discussions with the agent, the scheme has been revised with a view to achieving a more acceptable form of development on the site. The amended scheme reduces the proposed development to 4no.two bedroom flats occupying a building with a smaller footprint. The application is made in outline with layout, means of access and scale to be considered at this time. The appearance of the building and landscaping are reserved for future approval.
- 8.3 The application site falls within the settlement boundary as defined by the Local Development Plan proposals map with no specific policy designation or allocation. The character and context of the area is predominantly residential in nature. Policy C2: *Protection of Existing Community Facilities* permits the loss or change of use of buildings currently or last used for community facilities if an alternative facility of at least equal quality and scale to meet community needs is available or will be provided within the vicinity or, it can be demonstrated that the existing provision is surplus to the needs of the community.
- 8.4 Policy H6: *Change of Use or Redevelopment to Residential Use* permits the change of use of redundant premises or redevelopment of redundant previously developed land for residential uses where: i) there is no overriding need to retain the existing use of the land or premises and no overriding alternative local land use requirement; ii) the resulting residential accommodation and amenity will be satisfactory, iii) necessary community and transportation facilities are accessible or can be readily provided or improved, and, iv) it can be demonstrate that the change of use to a more sensitive end use has been assessed in terms of land contamination risk and that there are no unacceptable risks to the end users.
- 8.4 The medical practice which occupied the consulting rooms has moved to the Cyncoed Medical Centre at Dartington Drive and therefore the consulting rooms are surplus to requirements. Assessed against the above policy framework and given the application if for residential accommodation in a residential area, the application raises no land use policy concerns.
- 8.5 The main planning issues are considered to relate to:
- (i) the effects of the proposed development on the character and appearance of the street scene and the general amenities of neighbouring occupiers;
 - (ii) whether the proposed development will provide an acceptable living environment for prospective occupiers;
 - (iii) parking/highway safety;
 - (iv) landscaping and nature conservation interests;
- 8.3 Policy KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan states that... *all new development will be required to be of*

a high quality, sustainable design and make a positive contribution to the creation of distinctive communities, places and spaces by (inter alia):

(i) responding to the local character and context of the built and landscape setting so that layout, scale, form, massing, height, density, colour, materials, detailing and impact on the built and natural heritage are all addressed within development proposals;

(x) ensuring no undue effect on the amenity of neighbouring occupiers and connecting positively to surrounding communities;

8.4 Paragraph 3.9 of Planning Policy Wales states that *'The layout, form, scale and visual appearance of a proposed development and its relationship to its surroundings are important planning considerations'*.

8.5 Further guidance on residential infill development is provided in the Council's Supplementary Planning Guidance: Cardiff Infill Sites (November, 2017).

8.6 At paragraph 3.5 the SPG states that:

Infill, backland and site redevelopment must result in the creation of good places to live. This needs to be demonstrated through the quality of internal living space; private amenity space; and through adherence to principles relating to access, security, and legibility.

8.7 At paragraph 3.12, the SPG states that:

Infill development needs to be sensitive to its immediate surroundings and respond well to the built context. It is important that in residential areas where there is a clear existing pattern and form of development, new buildings, landscaping and boundary treatment complement the character of the surroundings.

8.8 At paragraph 3.15 the SPG states that:

The spaces between adjacent buildings often have as much impact on the character of the area as the form of the buildings themselves. Plots must be of sufficient width to accommodate buildings that fit well into the street scene and provide adequate visual separation where appropriate.

8.9 At paragraph 3.16 the SPG states that:

Development should seek to respond to the prevailing building line that is created by the main frontages of houses, taking into account how the buildings are set back from the street and any rhythms or patterns of existing development, or protrusions.

8.10 At paragraph 4.11 the SPG states that:

To safeguard the amenity of existing residents, proposals must not result in unacceptable harm regarding the level of overbearing, overshadowing or overlooking of neighbouring properties.

8.12 At paragraph 3.41 the SPG states that:

Where car parking is necessary, provision should be effectively incorporated into the design of the development as a whole and should not be introduced later. Proposals which create car-dominated frontages that harm the street scene and/or create blank frontages at the ground floor will not be accepted.

8.13 The application site lies between nos.279/279A Cyncoed Road to the north; a two storey semi-detached building containing 2no.flats, and, no. 275A Cyncoed Road to the south; an infill single storey dwelling. In urban design terms, there is considered to be no objection to the replacement of the existing building with a block of the scale proposed; The structure would be similar in scale to the existing two storey block to the north and whilst the appearance of proposed development remains a reserved matter, the illustrative drawing shows a traditionally designed, hipped roof building with two gable elements projecting from the front roof plane which would sit reasonably well within the street scene.

8.14 The layout respects the building line along this side of Cyncoed Road and the amended layout permits the retention of sections of laurel hedging along the side boundaries of the site and provides for soft landscaping along the back edge of footway.

8.15 The likely impact of the proposed development on the living conditions of neighbouring occupiers has been carefully considered and the original plans have been revised with a view to improving this relationship.

8.16 With regard to privacy, the Council's Infill Sites SPG advises that a minimum of 21.0 metres should be maintained between principal habitable room windows to ensure adequate privacy for the occupiers of proposed buildings as well as for neighbouring properties. The SPG also advises that the minimum overlooking distance from habitable room windows to a garden area of a separate dwelling should be 10.5 metres. As the appearance of the building remains a reserved matter, the detailed design of the structure and the arrangement of window openings shown on the submitted floor plan drawings should be considered indicative at this time. However, subject to the use of obscured glazing in the side elevation of the building, the proposed development would comply with this guidance.

8.17 A number of neighbouring occupiers have expressed their concerns that the development will result in the loss of privacy which they currently enjoy. The revisions will assist in mitigating the likely impact of the development. Although indicative, the submitted floor plans show how it would be possible to locate bathroom windows at first floor level, next to the boundaries with the neighbouring properties on either side and such windows could be obscurely glazed. A degree of mutual overlooking between neighbouring dwellings is a common feature of suburban living (including areas of single storey

development where properties have extended into the roof-space). It is not considered that this relationship would be so unreasonable as to justify the refusal of the application on neighbour amenity grounds.

- 8.18 The application site adjoins the rear gardens of nos. 32 and 34 Bryn-Gwyn Road to the west. The proposed building is shown to be sited approximately 11.4 metres from this boundary at ground floor level and approximately 12.6 metres at first floor level. This separation distance is sufficient to meet the Council's privacy guidance with respect to overlooking from upper floor windows and should ensure the building will not be unreasonably dominating as far as it relates to the properties adjoining the site in Bryn-Gwyn Road.
- 8.20 Nos.279/279A Cyncoed Road, located to the north of the application site, contain several ground and first floor windows in the side elevation facing towards the application site. The ground floor flat contains a clear glazed window serving a dining area. No. 275A Cyncoed Road located to the south contains a single window in its side elevation which is partially screened by boundary fencing.
- 8.21 The revised footprint and siting of the proposed building in relation to the neighbour properties is such that it is not considered that the proposal would impact unacceptably on light to habitable rooms to the extent that would support refusal of the application on this ground.
- 8.22 Although not afforded any statutory protection, the laurel hedge along the boundary with no.279/279A Cyncoed Road to the north is a beneficial feature both visually and as a privacy screen between both properties and the revised layout will now allow for its retention.
- 8.23 The application, as amended, proposes 4no.parking spaces, i.e., one space per flat and incorporates the provision/retention of some soft landscaping at the front of the site. The Transportation Officer, whilst noting the concerns of neighbouring and local residents, advises that he has no objections to application in terms of highway safety and off street parking provision, confirming that the proposal accords with the Council's Parking Guidelines (refer to paragraph 5.1) subject to conditions relating to the crossovers and the provision/retention of car and cycle parking. The application site is sustainably located with good access to public transport and access to local amenities. Regard should also be given to the former use of the site as medical consulting rooms.
- 8.24 With regard to the prospective living environment for future occupiers, although the application is outline at this stage, the illustrative plans demonstrate how 4no.flats will have acceptable internal living space and outlook.
- 8.25 The Infill Sites SPG advises at paragraph 4.5 that *'Houses and ground floor flats that will serve as family accommodation should include enclosed and secure private amenity areas. Depending on context, such amenity areas should measure at least 10.5m in depth or 50m² overall.'*

- 8.26 The Cardiff Residential Design Guide SPG advises that *'for communal gardens, a minimum area of 75m² should be provided for up to 5 units with an additional 10m² for each additional unit. Communal gardens should be clearly defined, secure and private, accessible to all occupants and integral to the form and character of the development.'* The proposed shared amenity space, measures approximately 160.0 sq. metres, is considered to comply with this guidance.
- 8.27 No technical objections have been raised by Welsh Water/Dwr Cymru or by the Council's Drainage, Ecology and Tree Officers subject to conditions/informatives.
- 8.28 The application, as amended, is recommended for approval subject to appropriate conditions.

9. **OTHER CONSIDERATIONS**

9.1 *Crime and Disorder Act 1998*

Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

9.2 *Equality Act 2010*

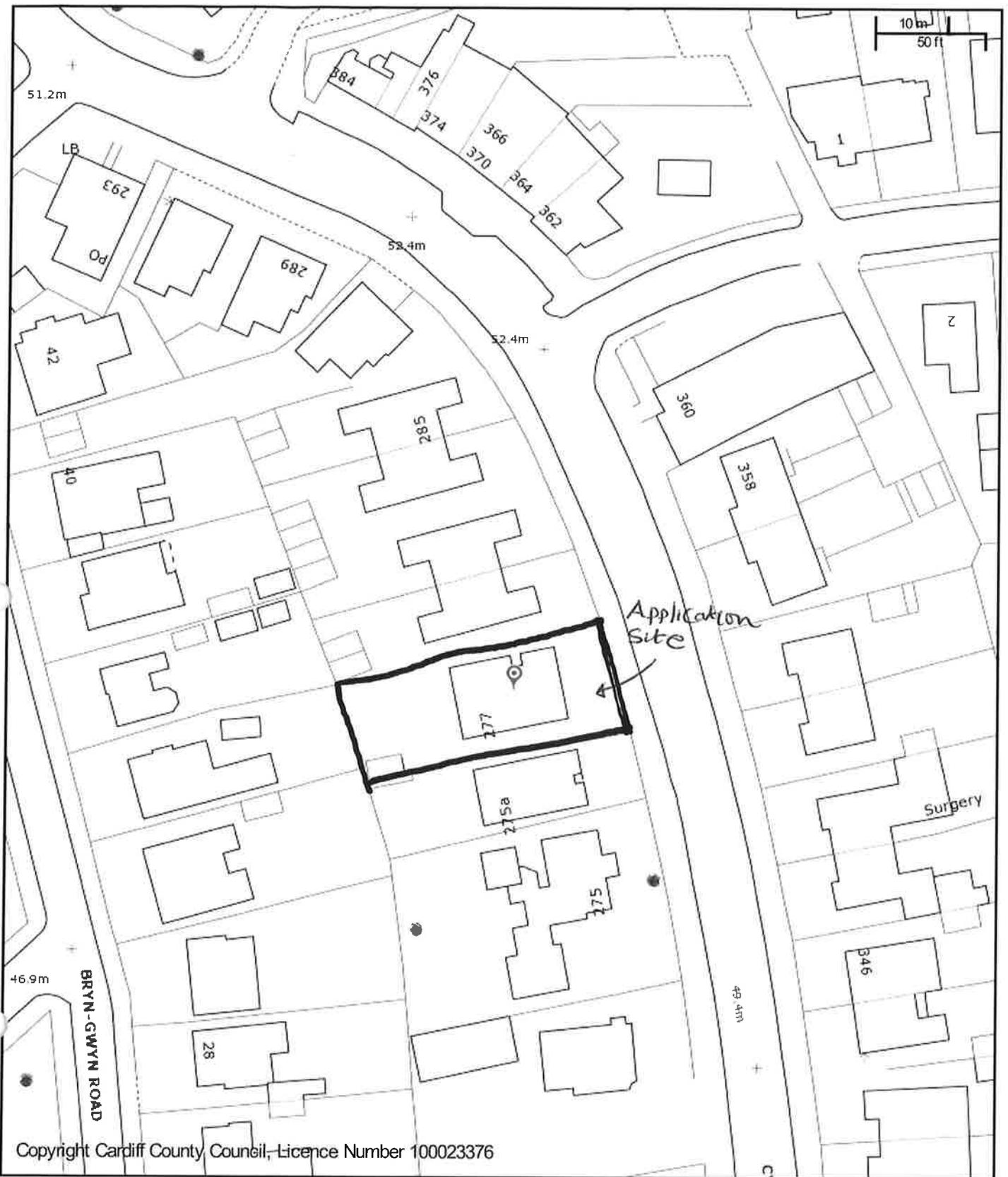
The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic, over and above any other person.

9.3 *Well-being of Future Generations (Wales) Act 2015*

The Well-being of Future Generations (Wales) Act 2015 places a duty on the Welsh Ministers (and other public bodies) to produce well-being objectives and take reasonable steps to meet those objectives in the context of the principle of sustainable development. The duty to improve the economic, social, environmental and cultural well-being of Wales, in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015 (the WBFG Act), has been considered and account has been taken of the ways of working set out at section 5 of the WBFG Act in the determination of this application, and it is considered that this decision is in accordance with the sustainable development principle through its contribution towards one or more of the well-being objectives referred to in section 9 of the WBFG Act.

9.4 *Environment (Wales) Act 2016*

The Environment (Wales) Act 2016 imposes a duty on the Local Authority to seek to maintain and enhance biodiversity in the proper exercise of its functions and in doing so to promote the resilience of ecosystems. It is considered that the proposed development does not have any significant implications for, or effect on, biodiversity.



Copyright Cardiff County Council, Licence Number 100023376

CHIEF EXECUTIVE

Neuadd y Sir, Glanfa'r Iwerydd
 CAERDYDD CF10 4UW
 Tel: 029 20872088

County Hall, Atlantic Wharf
 CARDIFF CF10 4UW
 Tel: 029 20872087

Cyngor Caerdydd

Cardiff Council



Title

Scale: 1:708

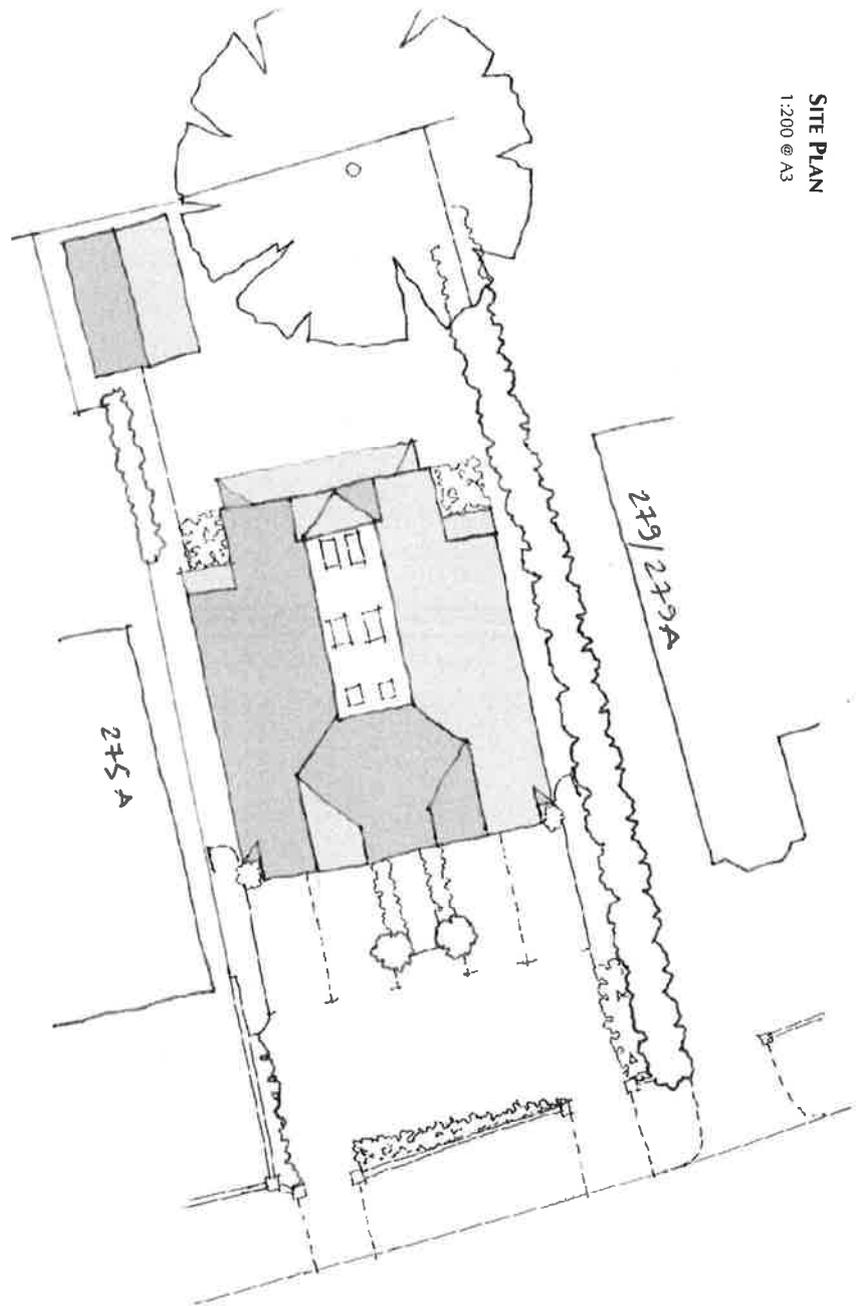
Date: 3/7/2019 at 9:32 AM

Coordinates:

© Crown copyright and database rights (2014).

This copy is produced specifically to supply County Council information NO further copies may be made.

Ordnance Survey 100023376 (2014).



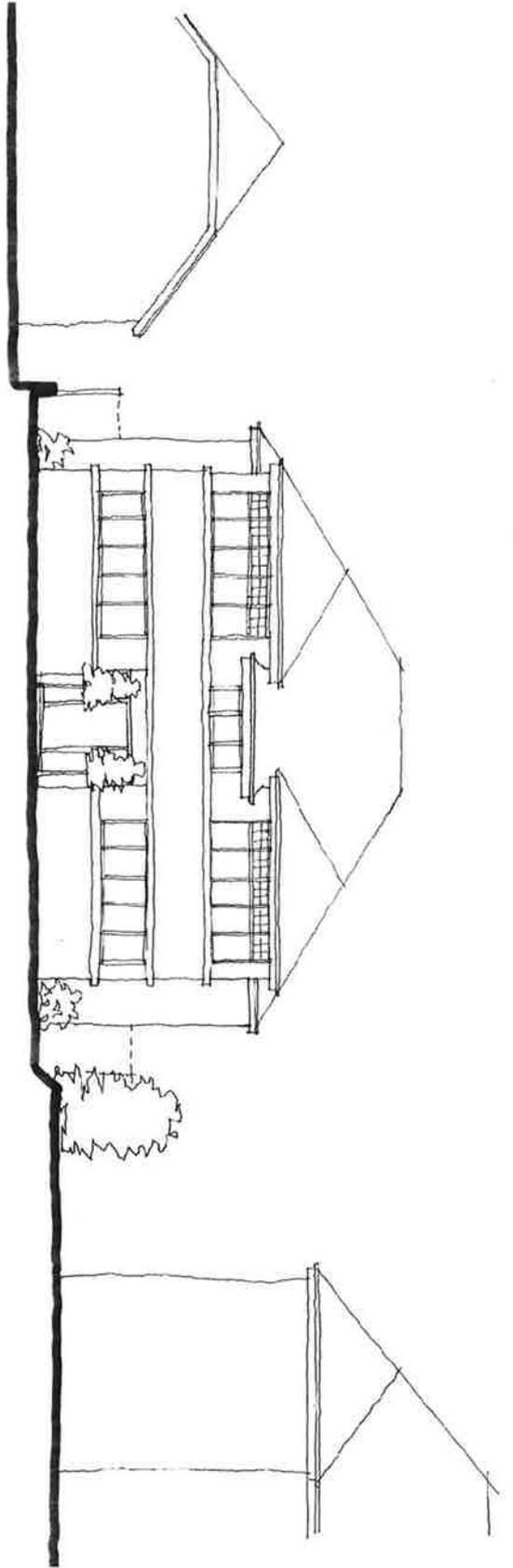
Rev A: Size of Building reduced, car parking and forecourt redesigned.

PROPOSED APARTMENTS: 277 Cyncoed Road, Cardiff
Proposed Site Plan

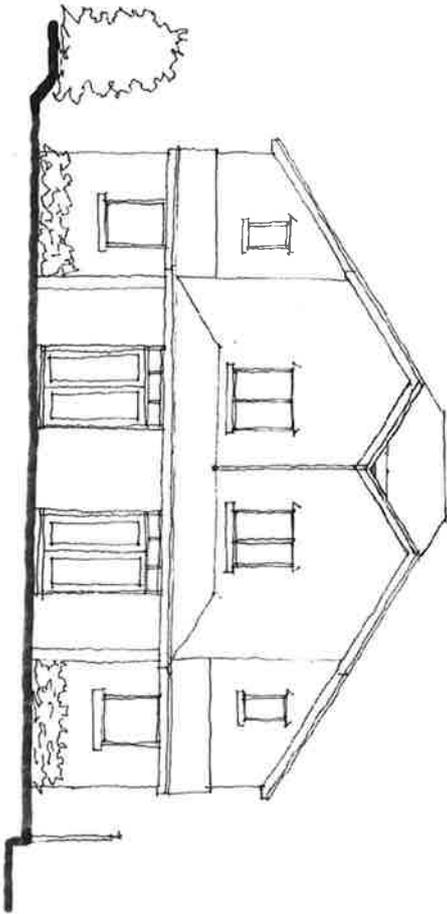
DRAWING NO.	REV.
1912_05	A

Scale As indicated

FRONT ELEVATION TO STREET
For illustrative purposes only



REAR ELEVATION TO GARDEN
For illustrative purposes only



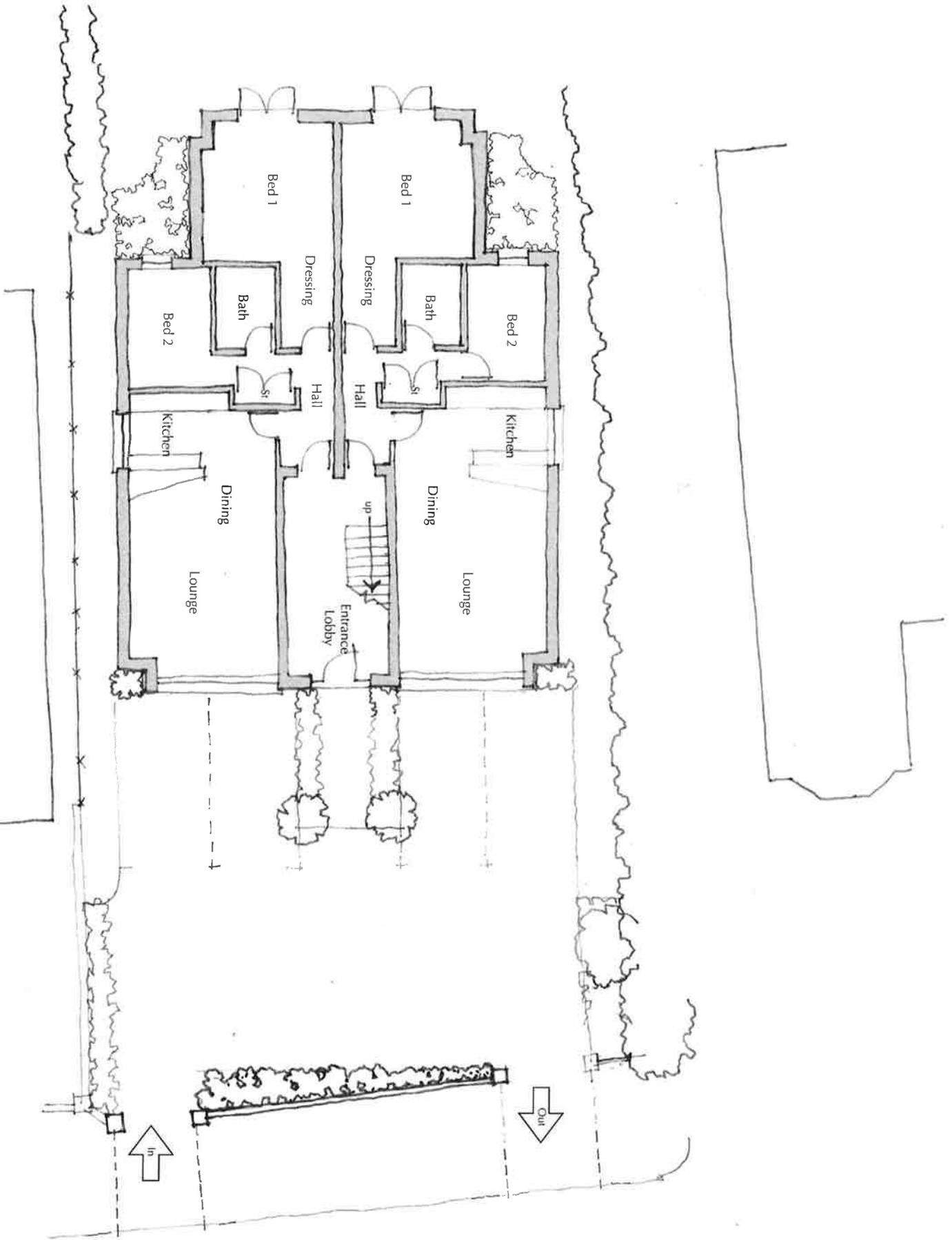
PROPOSED APARTMENTS: 277 Cyncoed Road, Cardiff
Proposed Elevations

Rev. A: Front Elevation amended

DRAWING NO.	REV.
1912_08	A

Scale 1:100@A3

Note these floor plans are for illustrative purposes only

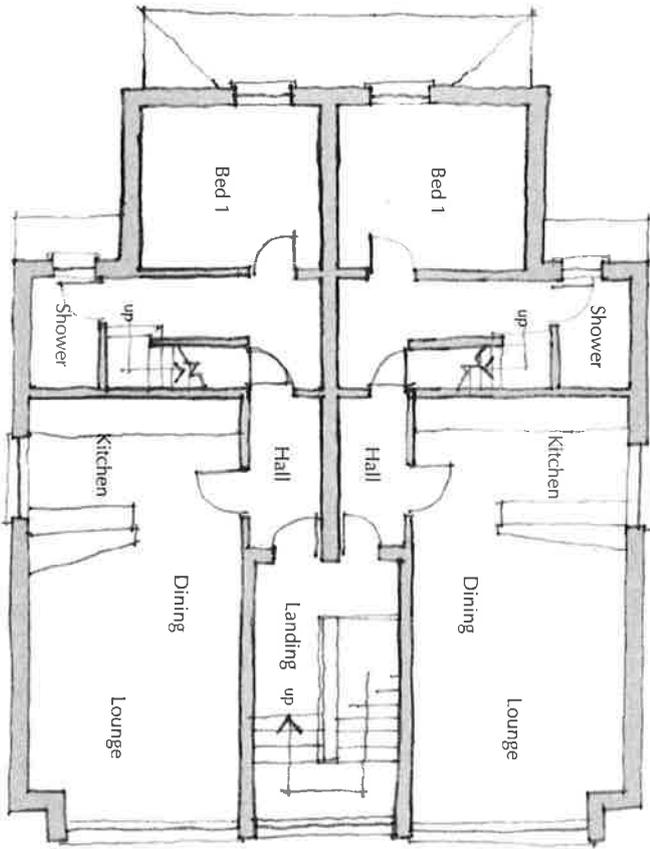


Rev A: Size of Building reduced, car parking and forecourt redesigned.

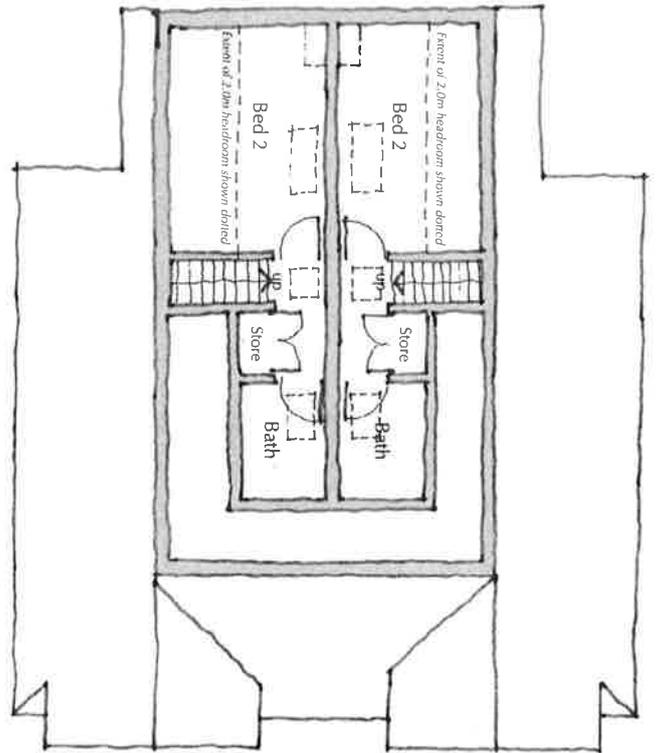
PROPOSED APARTMENTS: 277 Cyncoed Road, Cardiff
Proposed Ground Floor Plan

DRAWING NO.	REV.
1912_06	A

Scale 1:100 @ A3



FIRST FLOOR PLAN
For illustrative purposes only



SECOND FLOOR PLAN
For illustrative purposes only

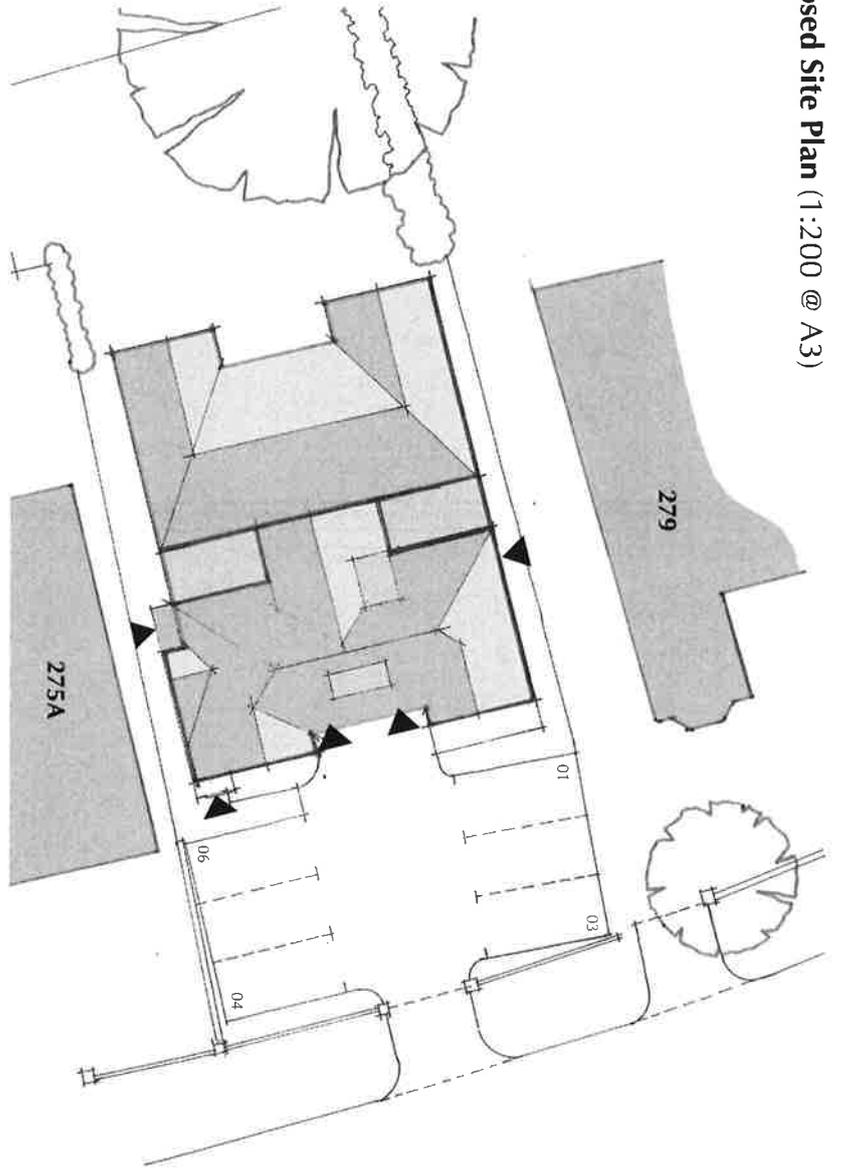
PROPOSED APARTMENTS: 277 Cyncoed Road, Cardiff
 Proposed First & Second Floor Plans

Rev. A: Rear Elevation amended

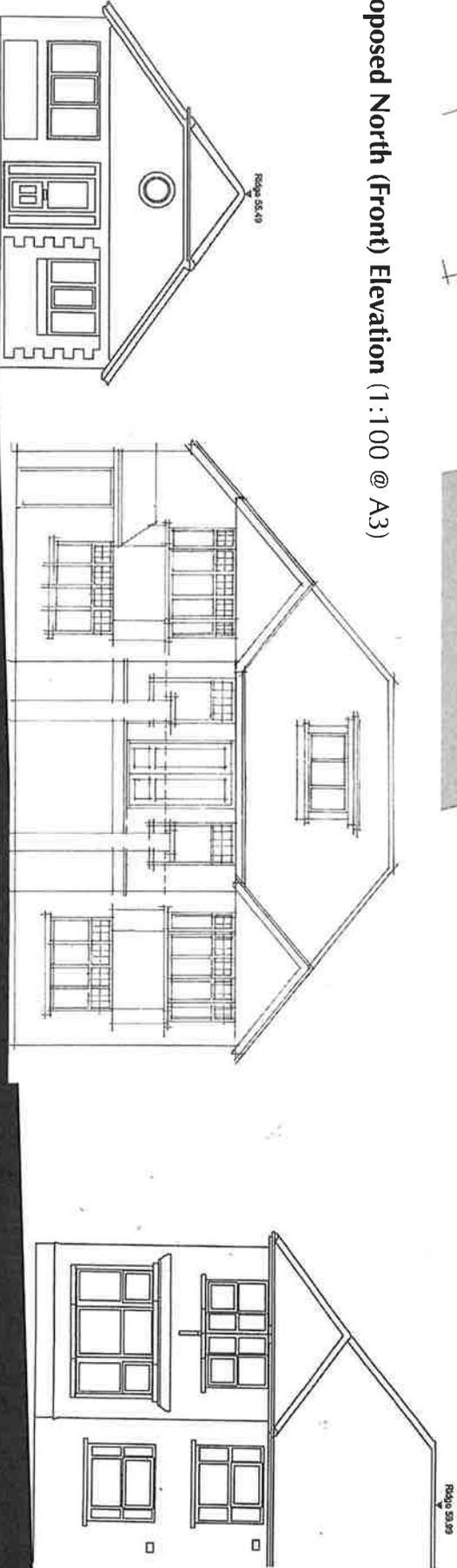
DRAWING NO.	REV.
1912 07	A

Scale 1:100 @ A3

Proposed Site Plan (1:200 @ A3)



Proposed North (Front) Elevation (1:100 @ A3)



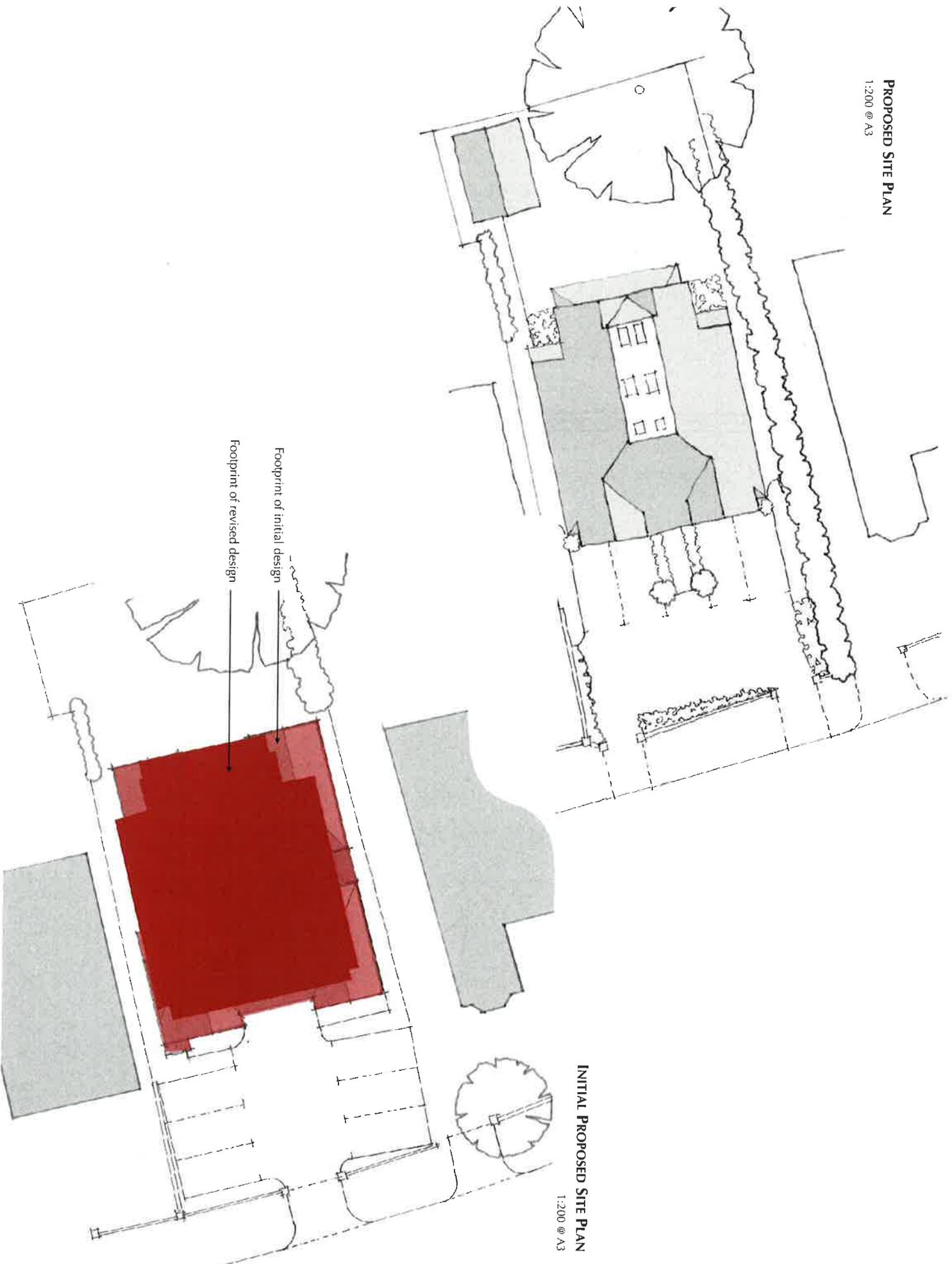
*Application before
revision.*

PROPOSED APARTMENTS: 277 Cyncoed Road, Cardiff

Proposed Site Plan & North (Front) Elevation

DRAWING NO.	REV.
1912_05	

Scale As indicated

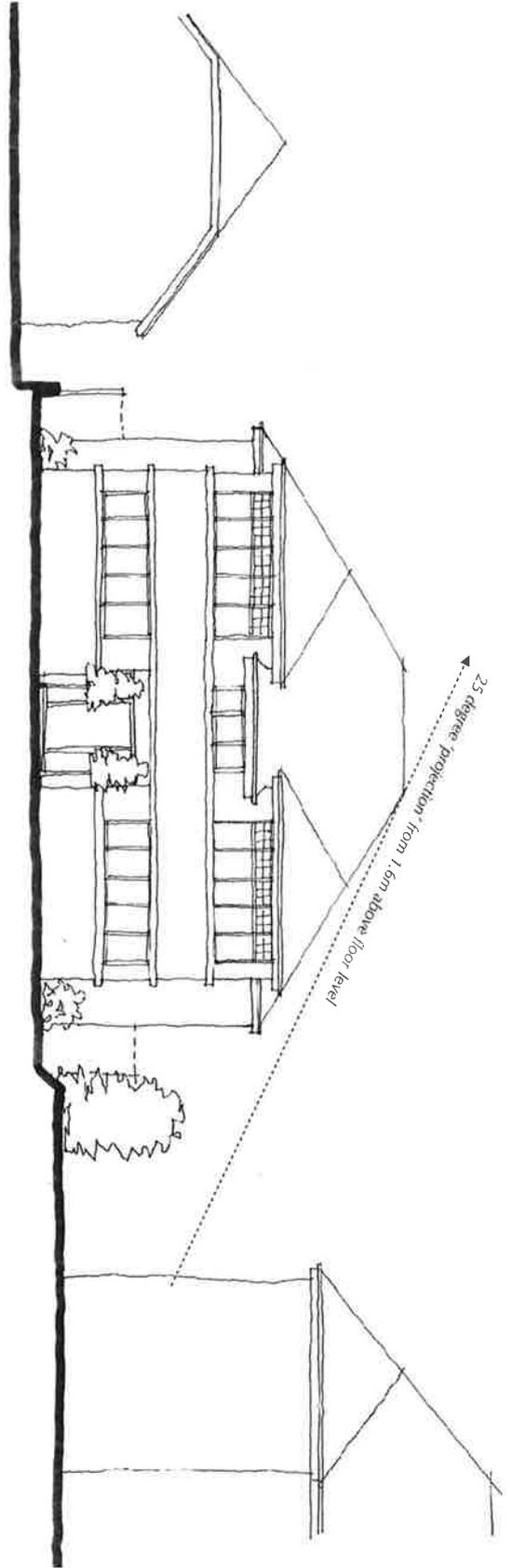


PROPOSED APARTMENTS: 277 Cyncoed Road, Cardiff
Development Analysis

DRAWING NO. 1912_10 REV.

Scale As indicated

FRONT ELEVATION TO STREET
For illustrative purposes only



REAR ELEVATION TO GARDEN
For illustrative purposes only

